

TOWN OF LEICESTER
AGENDA PLANNING BOARD
MONDAY November 29, 2021
6:00P.M.

OPEN MEETING 6:00 P.M.

PLEDGE TO THE FLAG:

MINUTES: October 18, 2021:

Deem if Application is Complete:

Seneca Foods Site Plan Review:

A Motion to send to County Planning Board for Review:

1st:

2nd:

Motion Carried or Motion Denied

Ayes:

Noes:

A Motion to Set Public Hearing for Seneca on December 13, 2021, at 6:pm

1st:

2nd:

Motion Carried or Motion Denied

Ayes:

Noes:

COMMENTS OR CONCERNS FROM PUBLIC OR PLANNING BOARD:

ADJOURN:



October 28, 2021

Planning Board
Town of Leicester
132 Main Street
Leicester, NY 14481

Re: Seneca Foods Corporation Site Plan Review
5705 Route 36, Leicester
Tax Account No. 97.00-01-33.1

2794

Dear Board Members:

On behalf of Seneca Foods Corporation, we are requesting Site Plan review for a new $\pm 4,460$ sf residential building as an accessory use to the plant. We have included the following application materials for your use in review of the application:

- Site Plans
- Application for Review and Approval of Site Plan
- Building Elevations and Floor Plans
- Ag Data Statement and Tax Map
- Short Form EAF
- \$25.00 Application Fee

The Seneca Foods Corporation facility is located at 5705 Route 36 and within the Industrial (I) zoning district. The property currently has accessory housing units on the property that support the plant operations. Seneca Foods is proposing to construct a new $\pm 4,460$ sf one-story building and extending a new public water and sanitary sewer to serve the new buildings(s). The building will include sprinklers and be master metered and backflow protected. In anticipation for their growing operations, we are also requesting approval for a future $\pm 4,460$ sf building one-story residential building, which would be similar to the one proposed.

We understand the Town Board will need to review the Industrial Zoning District Code Section 609(C) to allow residential as a permitted accessory use within the zoning district. However, we would like to keep the communication and process moving forward so we can try to accommodate Seneca Foods schedule for operations next year.

Please review and contact our office if you require any additional information prior to the meeting.

Sincerely,
BME ASSOCIATES

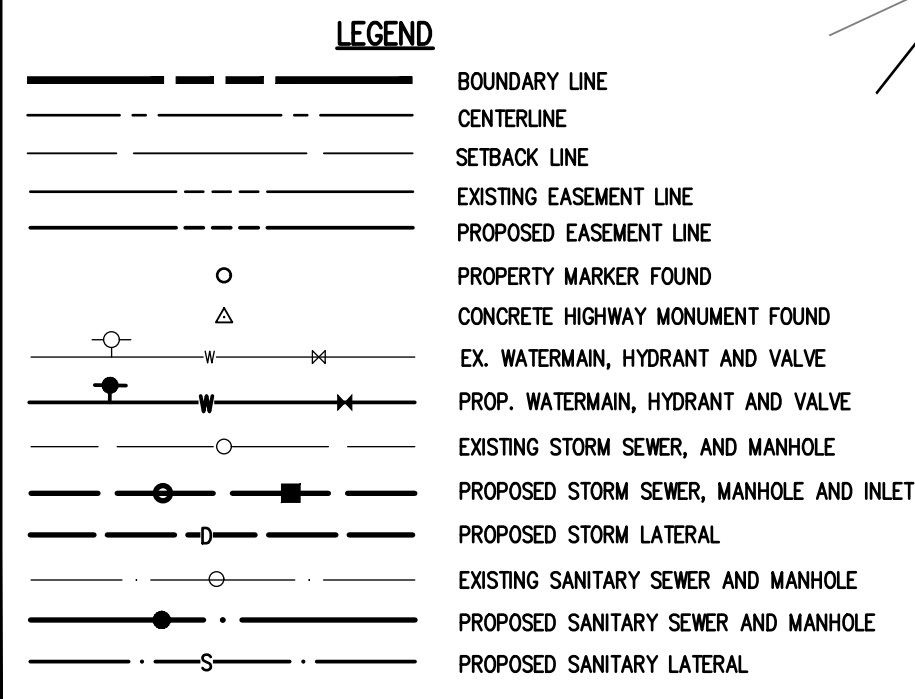
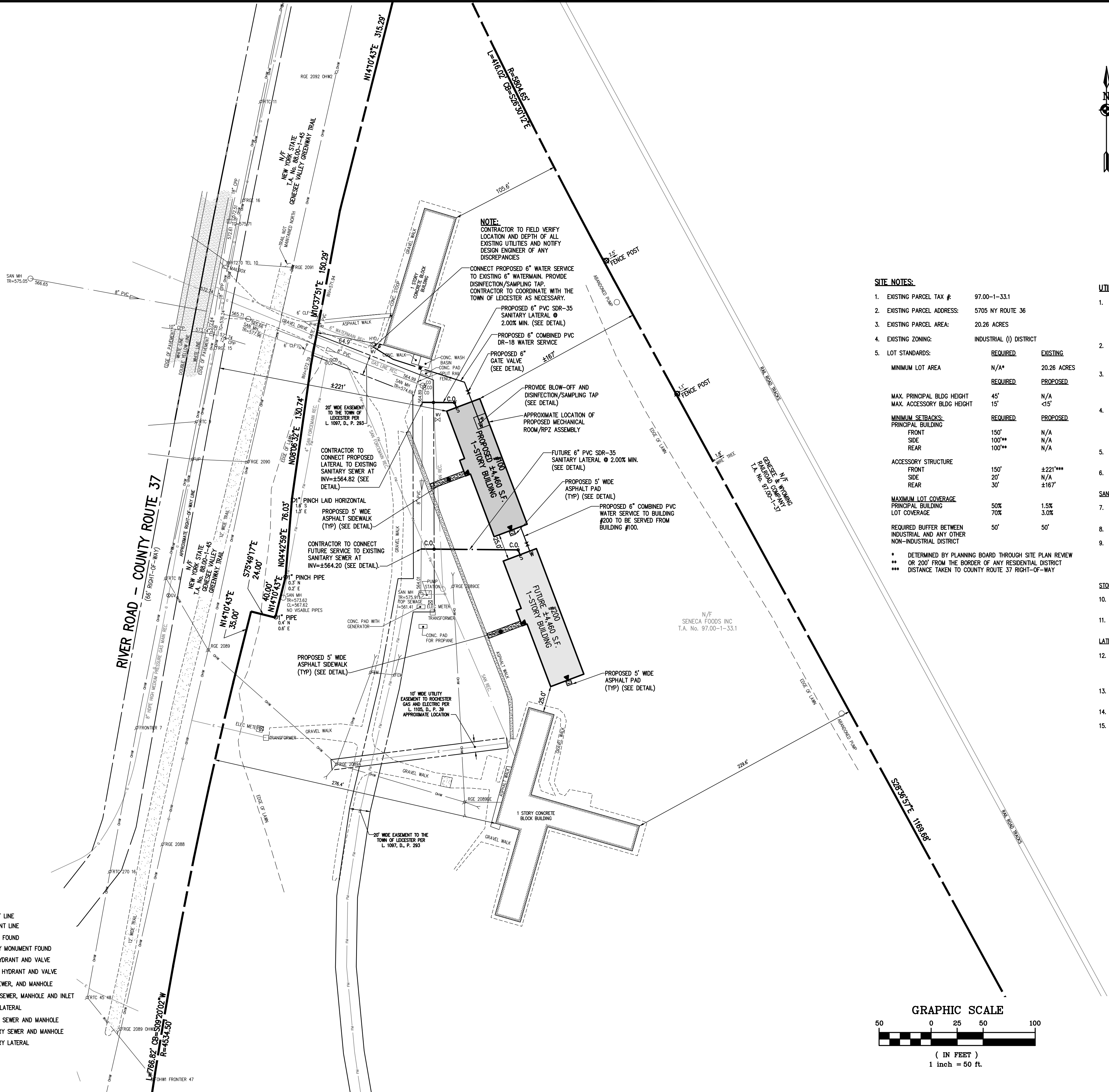
A handwritten signature in blue ink, appearing to read 'J. Lincoln Swedrock', is written over the typed name.

J. Lincoln Swedrock, P.E.

Encl.

c: Max Heagney; LeFrois Builders
Ryan Schuyler; Seneca Foods
Gary Hadyk; Seneca Foods

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NOTE: CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES

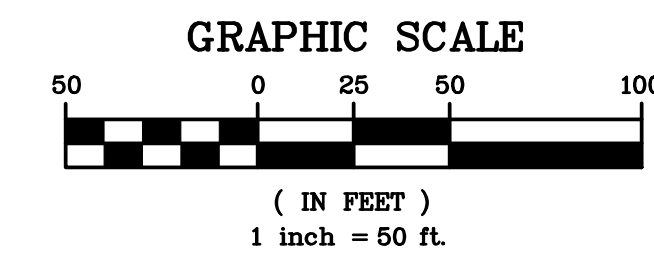
SITE NOTES:

- 1. EXISTING PARCEL TAX #: 97.00-1-33.1
2. EXISTING PARCEL ADDRESS: 5705 NY ROUTE 36
3. EXISTING PARCEL AREA: 20.26 ACRES
4. EXISTING ZONING: INDUSTRIAL (I) DISTRICT
5. LOT STANDARDS: REQUIRED EXISTING

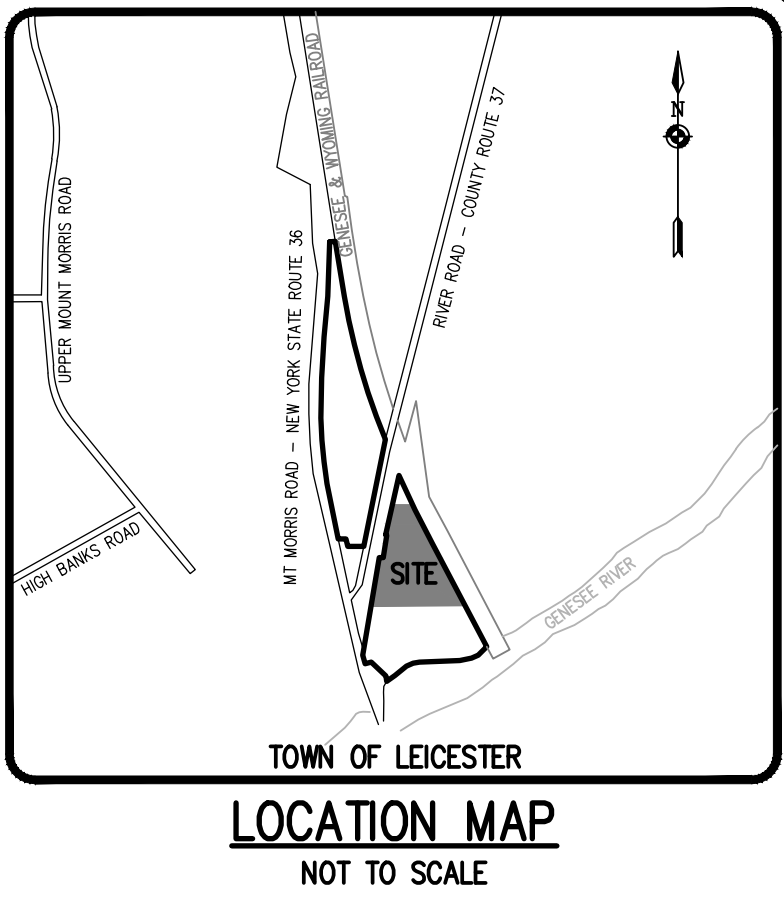
UTILITY NOTES:

- 1. THE SETBACK LINES AND NOTES RELATING TO SETBACK SHOWN HEREON ARE INTENDED TO SHOW APPLICABLE ZONING REQUIREMENTS...
2. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF LEICESTER...
3. EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM FIELD LOCATIONS AND/OR UTILITY COMPANY RECORD PLANS...

* DETERMINED BY PLANNING BOARD THROUGH SITE PLAN REVIEW
** OR 200' FROM THE BORDER OF ANY RESIDENTIAL DISTRICT
*** DISTANCE TAKEN TO COUNTY ROUTE 37 RIGHT-OF-WAY



NOT APPROVED
This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.



Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
'It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way if an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall file with the State and the notations altered by followed by his signature and the date of each alteration, and a specific description of the alteration.'

Table with columns for REVISIONS, DATE, and BY.

BME ASSOCIATES logo and contact information: ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS



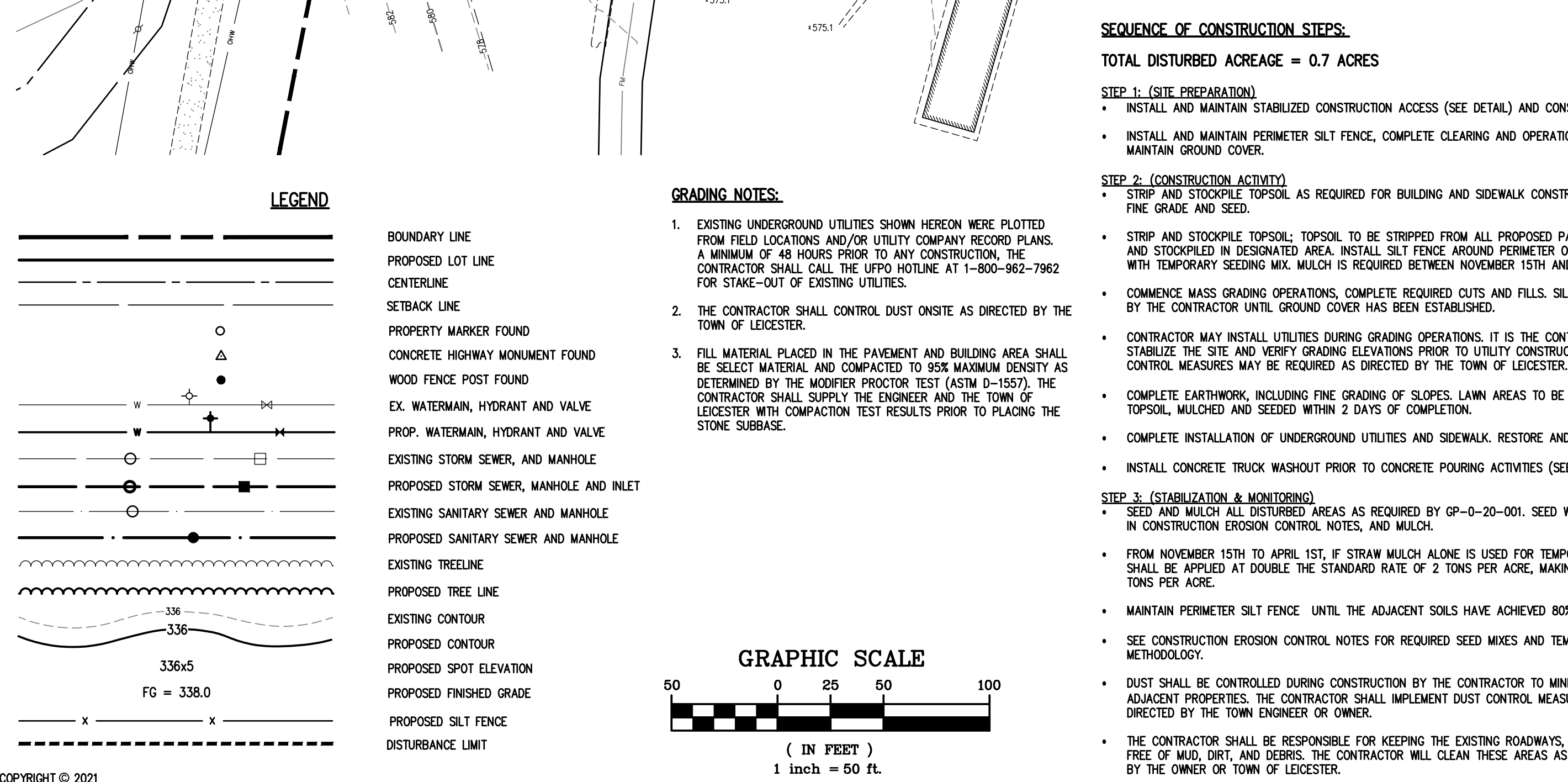
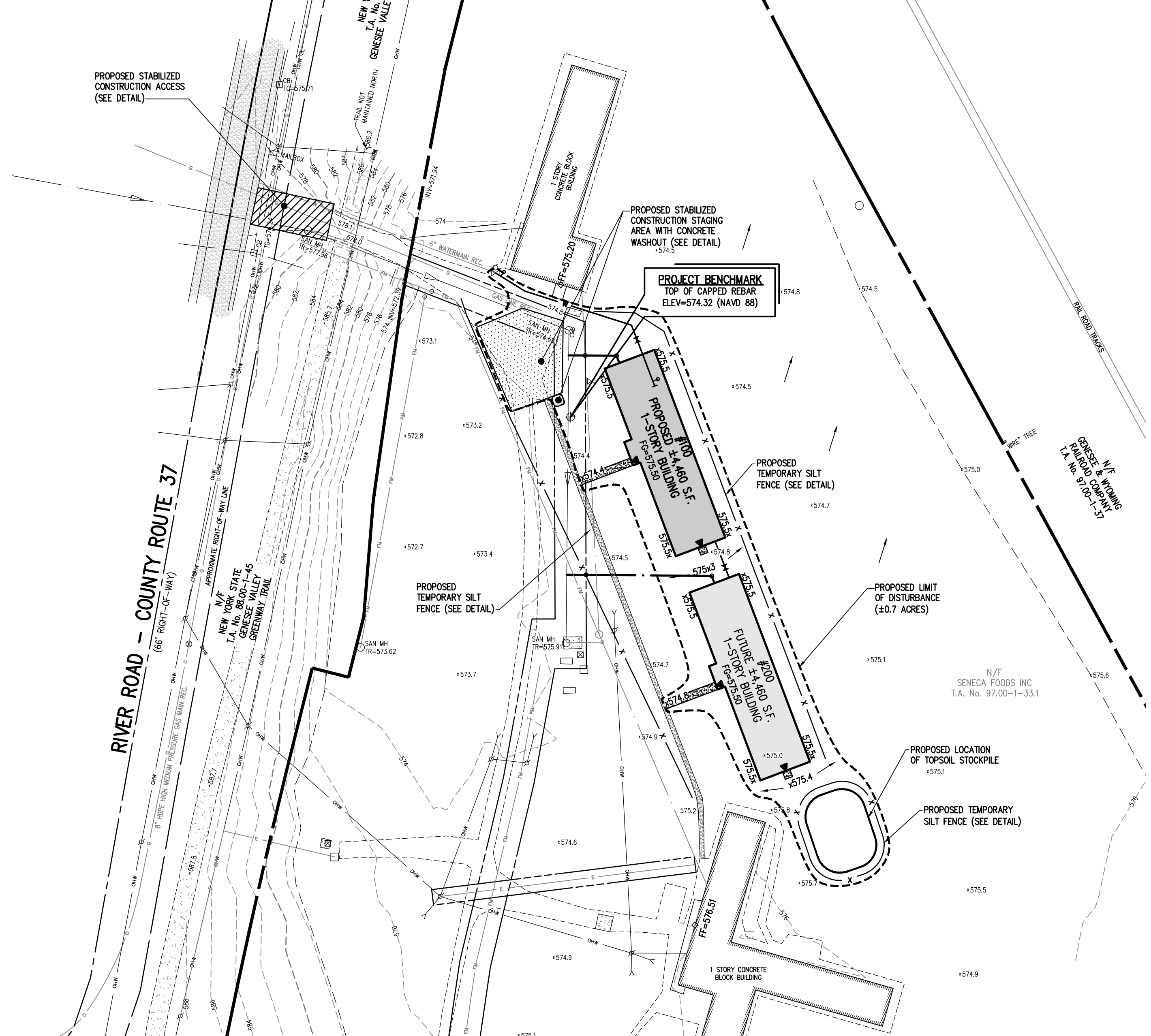
SENECA FOODS logo and address: TOWN OF LEICESTER, LIVINGSTON COUNTY, NEW YORK STATE

PROJECT LOCATION CLIENT DRAWING TITLE: SENECA FOODS CORPORATION, 7205 ROUTE 36, LEICESTER, N.Y. 14681. SITE AND UTILITY PLAN. PROJECT NO. 2794. DRAWING NO. 01.

MORRIS RESERVE, SQUAWKIE HILL RESERVATION, GREAT LOTS 19, 22, 27 30, TAX ACCOUNT NUMBER 97.00-1-33.1

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CONSTRUCTION EROSION CONTROL NOTES:

- 1. THE CONSTRUCTION ACTIVITIES FOR THIS PROJECT REQUIRE THE PREPARATION OF A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) THAT ONLY INCLUDES EROSION & SEDIMENT CONTROLS. THIS SWPPP CONSISTS OF THE PROJECT PLANS, INCLUDING THE GRADING, CONSTRUCTION EROSION CONTROL PLAN AND DETAIL SHEET, AND THE TOWN OF LEICESTER DESIGN AND CONSTRUCTION SPECIFICATIONS REGARDING STORMWATER CONTROL. THE PLANS FOR THIS PROJECT ARE INTENDED TO CONFORM WITH THE NYSDEC GENERAL PERMIT GP-0-20-001 AND THE REQUIREMENTS OF LOCAL AND NYSDEC AUTHORITIES.
- 2. THE OWNER IS RESPONSIBLE FOR IMPLEMENTING THE REQUIRED SWPPP. THE OWNER'S CONTRACTOR, SUB-CONTRACTOR AND ALL OTHERS ASSOCIATED WITH THE IMPLEMENTATION OF THE PLAN SHALL BE FAMILIAR WITH THE PLAN AND THE CONDITIONS OF THE NYSDEC GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
- 3. ANY MODIFICATIONS OR DEVIATIONS FROM THE SWPPP, INCLUDING EROSION CONTROL MEASURES AND STORMWATER MANAGEMENT FACILITIES, SHALL BE DOCUMENTED IN THE INSPECTION REPORT AND CONSIDERED PART OF THE SWPPP FOR THE PROJECT.
- 4. THE OWNER IS RESPONSIBLE FOR FILING THE NOTICE OF INTENT (NOI) FOR CONSTRUCTION ACTIVITY WITH NYSDEC PRIOR TO COMMENCING ANY CONSTRUCTION. A COPY OF THE NOI SHALL BE KEPT ON-SITE AND PROVIDED TO THE MUNICIPALITY.
- 5. THE OWNER SHALL BE RESPONSIBLE FOR PROVIDING ON-SITE INSPECTIONS BY A LICENSED PROFESSIONAL REGARDING EROSION CONTROL DURING CONSTRUCTION. INSPECTIONS ARE TO BE PROVIDED AT A MINIMUM OF TWICE A WEEK FOR DISTURBANCES OF 5 ACRES OR GREATER AND ONCE A WEEK FOR DISTURBANCES LESS THAN 5 ACRES. AN INSPECTION REPORT LOG AND THE SWPPP ARE TO BE KEPT ON-SITE BY THE OWNER.
- 6. FOR SITES WHERE SOIL DISTURBANCE ACTIVITIES HAVE BEEN TEMPORARILY SUSPENDED (E.G. WINTER SHUTDOWN) AND TEMPORARY STABILIZATION MEASURES HAVE BEEN APPLIED TO ALL DISTURBED AREAS, THE OWNER/OPERATOR MAY REDUCE THE SELF-INSPECTION FREQUENCY, BUT SHALL MAINTAIN A MINIMUM OF MONTHLY INSPECTIONS. (30 CALENDAR DAYS)
- 7. THE OWNER'S CONTRACTOR/REPRESENTATIVE SHALL IDENTIFY AT LEAST ONE INDIVIDUAL TO BE TRAINED FROM THEIR COMPANY THAT WILL BE RESPONSIBLE FOR IMPLEMENTATION OF THE SWPPP. THE INDIVIDUAL MUST RECEIVE (4) HOURS OF NYSDEC TRAINING EVERY (3) YEARS. THE OWNER/OPERATOR SHALL ENSURE THAT AT LEAST ONE OF THE TRAINED INDIVIDUALS IS ON-SITE ON A DAILY BASIS WHEN SOIL DISTURBANCE ACTIVITIES ARE BEING PERFORMED.
- 8. FOR DISTURBANCES LESS THAN 5 ACRES, IN AREAS WHERE SOIL DISTURBANCE ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED, THE APPLICATION OF SOIL STABILIZATION MEASURES MUST BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN 14 DAYS. FROM THE DATE THE CURRENT SOIL DISTURBANCE ACTIVITY CEASED, IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY GROUNDCOVER, THE DISTURBED AREAS SHALL BE MULCHED WITH STRAW OR EQUIVALENT MATERIAL. ADDITIONAL TIME FRAMES FOR STABILIZATION ARE SUBJECT TO THE REQUIREMENTS OF A REGULATED TRADITIONAL LAND USE MSA.
- 9. THE OWNER'S CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, CLEANING, REPAIR AND REPLACEMENT OF EROSION CONTROL MEASURES DURING SITE CONSTRUCTION.
- 10. ALL DISTURBED AREAS TO BE RESTORED PER TABLE 5.3 SOIL RESTORATION REQUIREMENTS FOUND IN CHAPTER 5: GREEN INFRASTRUCTURE PRACTICES OF THE NYS STORMWATER MANAGEMENT DESIGN MANUAL. PLEASE REVIEW WITH PROJECT MANAGER.
- 11. ALL DISTURBED AREAS TO BE RECLAIMED WITH A MINIMUM OF 6" TOPSOIL.
- 12. TEMPORARY SEEDING OF DISTURBED AREAS SHALL BE PROVIDED AS FOLLOWS:
THE SURFACE TWO INCHES OF SOIL SHOULD BE LOOSENEED BY DISKING, RAKING, OR BACK-BLADING WITH A BULLDOZER. IMMEDIATELY FERTILIZE WITH 300 LBS PER ACRE (OR 7 LBS. PER 1000 SQ. FT.) OF 10-10-10 FERTILIZER. IMMEDIATELY SEED WITH THE FOLLOWING MIX:

	LBS./ACRE	LBS./1000 SQ. FT.
ANNUAL RYEGRASS	40	1
PERENNIAL RYEGRASS	40	1
OATS	40	1
WHITE CLOVER (+ INOCULANT)	4	0.1

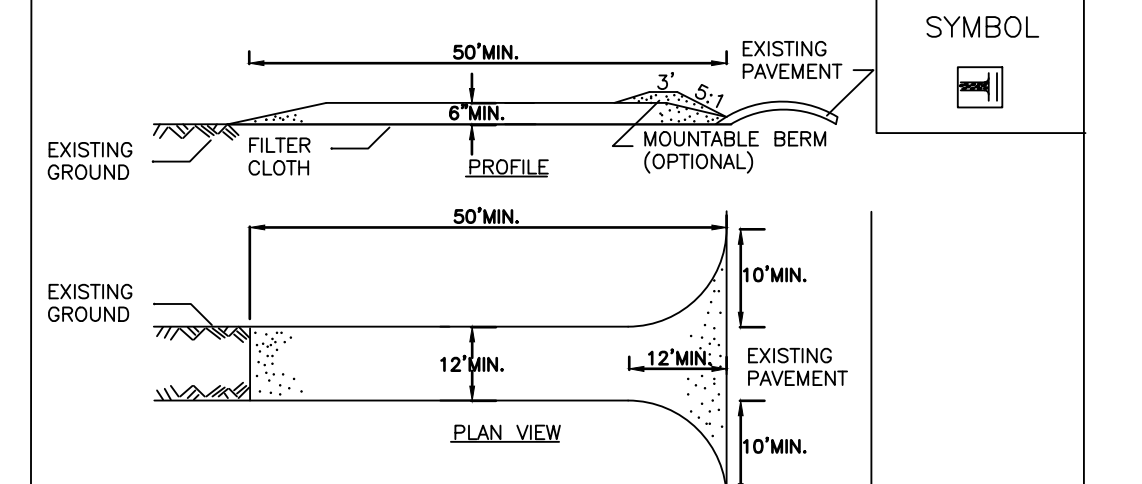
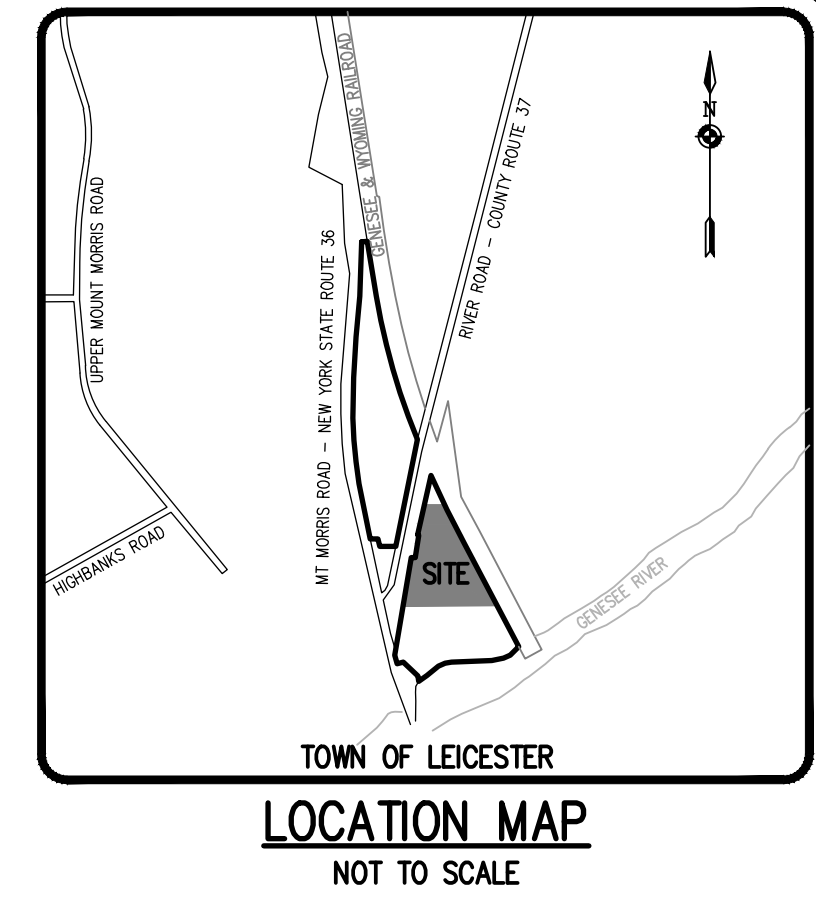
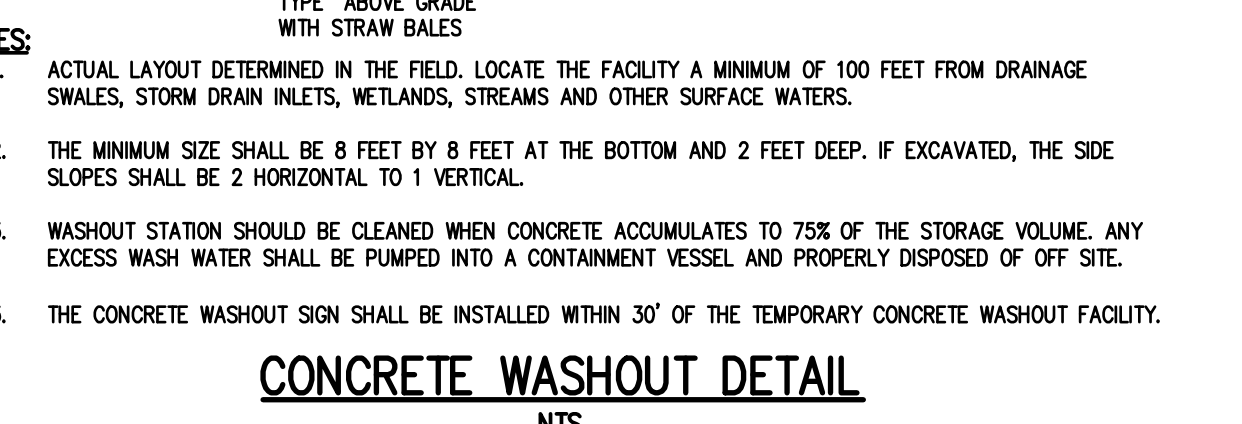
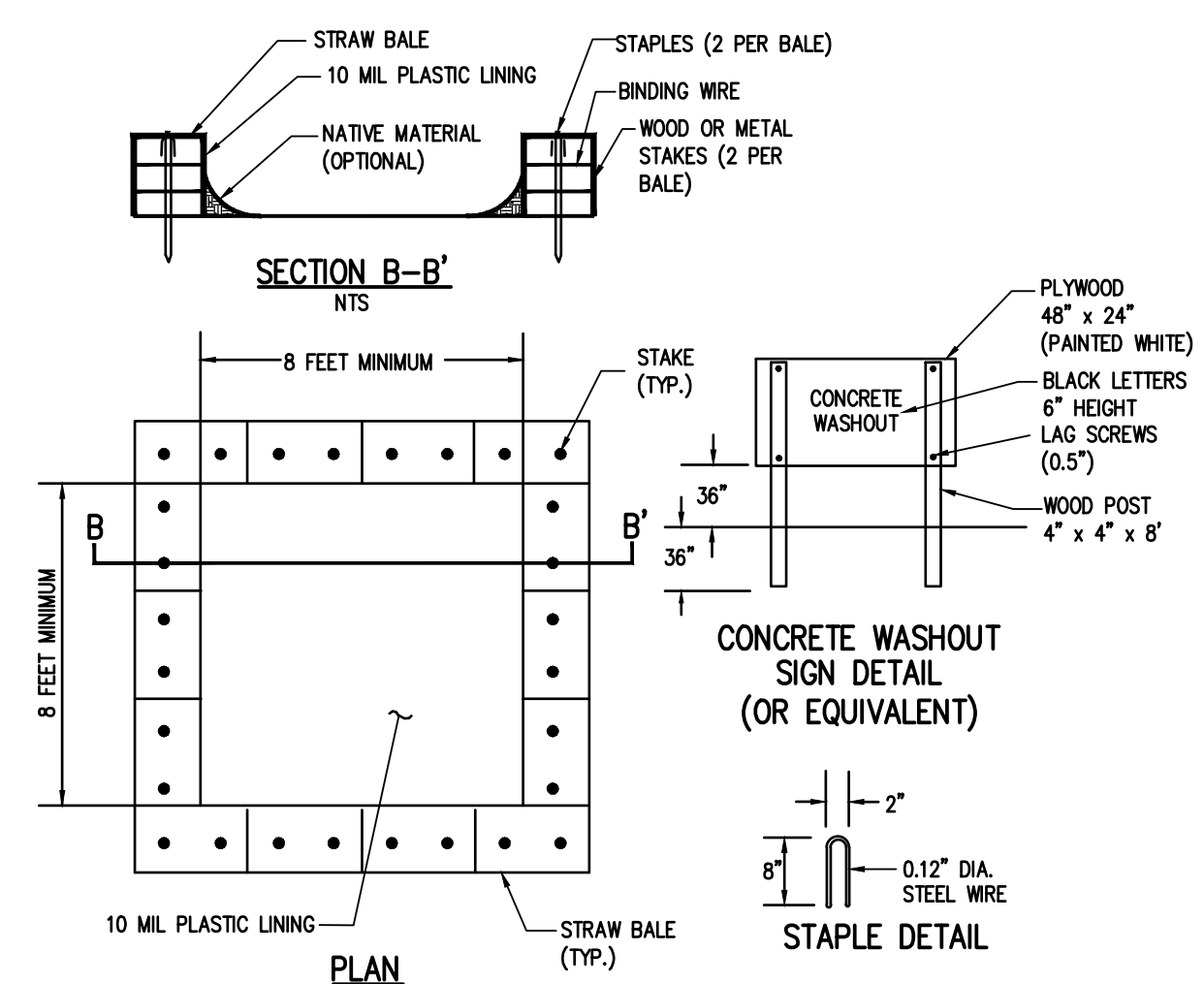
SEED SHOULD HAVE A GERMINATION RATE OF AT LEAST 85 PERCENT AND MINIMAL INERT MATERIAL.
- 13. DISTURBED AREAS SHALL BE STABILIZED USING PERMANENT LAWN SEEDING MIX UPON COMPLETION OF GRADING AND CONSTRUCTION:

	LBS./ACRE	% BY PURITY	% GERM
PERENNIAL RYE GRASS	35	85	85
RED FESCUE	35	97	80
KENTUCKY BLUEGRASS	30	85	80

SEEDING RATE: 6.0 LBS PER 1,000 SQ. FT.
MULCH: STRAW OR WOOD FIBER MULCH USED WITH HYDROSEEDING METHOD, AT TWO TONS PER ACRE WITH TACKIFIER.
STARTING FERTILIZER: 5-10-10 AT 20 LBS PER 1,000 SQ. FT.
- 14. ALL SEEDING AREAS ARE TO BE MONITORED FOR GERMINATION AND EROSION. ERODED AREAS ARE TO BE BACKFILLED, FINE GRADED AND RE-SEED. AREAS THAT FAIL TO GERMINATE A MINIMUM OF 80% SHALL BE RE-SEED.
- 15. ANY EXCAVATIONS THAT MUST BE PUMPED INTO AN APPROVED FILTERING DEVICE BEFORE ENTERING AN ACTIVE DRAINAGE SYSTEM OR DISPERSED TO AN EXISTING DRAINAGE AREA.
- 16. THE OWNER SHALL BE RESPONSIBLE FOR REMOVING EXISTING EROSION CONTROL MEASURES THAT ARE LOCATED WITHIN ESTABLISHED AREAS. MATERIALS ARE TO BE DISPOSED OF PROPERLY.
- 17. UPON COMPLETION OF CONSTRUCTION AND FINAL STABILIZATION THE OWNER MAY FILE A NOTICE OF TERMINATION (NOT) WITH NYSDEC PER THE REQUIREMENTS OF THE GENERAL PERMIT GP-0-20-001.

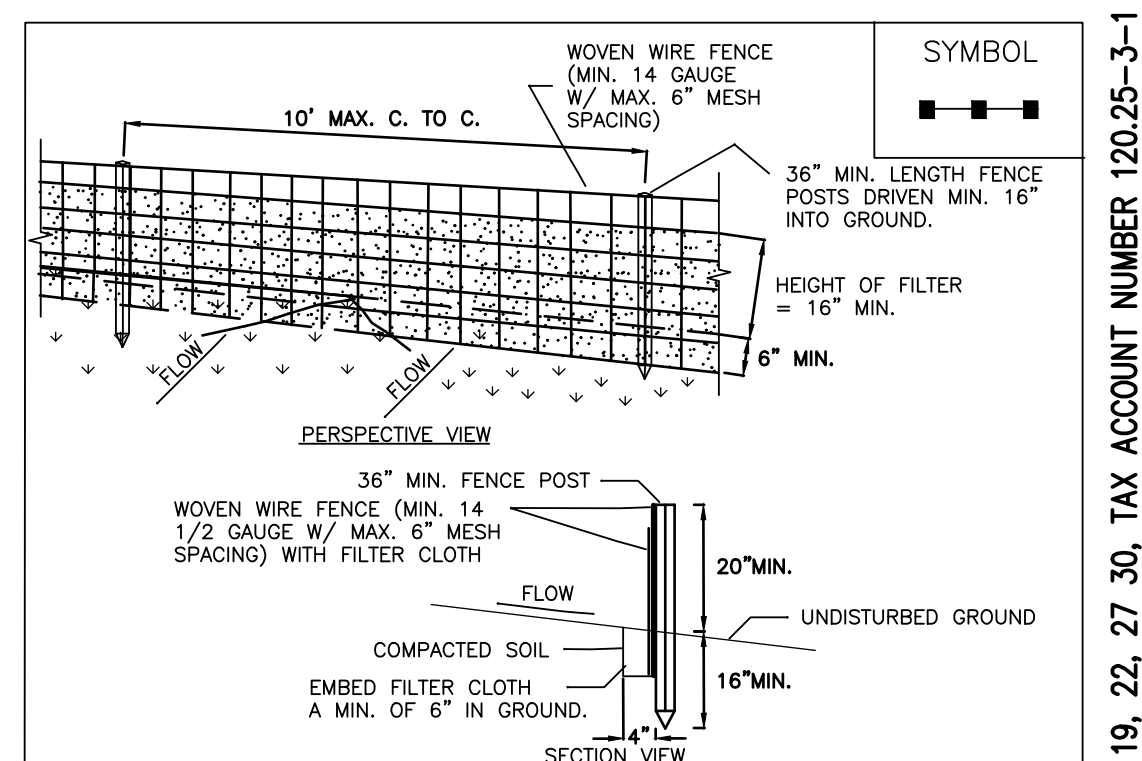
SEQUENCE OF CONSTRUCTION STEPS:

- TOTAL DISTURBED ACREAGE = 0.7 ACRES**
- STEP 1: (SITE PREPARATION)**
 - INSTALL AND MAINTAIN STABILIZED CONSTRUCTION ACCESS (SEE DETAIL) AND CONSTRUCTION STAGING AREA.
 - INSTALL AND MAINTAIN PERIMETER SILT FENCE, COMPLETE CLEARING AND OPERATIONS AS NECESSARY TO MAINTAIN GROUND COVER.
- STEP 2: (CONSTRUCTION ACTIVITY)**
 - STRIP AND STOCKPILE TOPSOIL AS REQUIRED FOR BUILDING AND SIDEWALK CONSTRUCTION. COMPLETE GRADING, FINE GRADE AND SEED.
 - STRIP AND STOCKPILE TOPSOIL; TOPSOIL TO BE STRIPPED FROM ALL PROPOSED PAVEMENT AND BUILDING AREAS AND STOCKPILED IN DESIGNATED AREA. INSTALL SILT FENCE AROUND PERIMETER OF TOPSOIL PILE AND SEED WITH TEMPORARY SEEDING MIX. MULCH IS REQUIRED BETWEEN NOVEMBER 15TH AND APRIL 1ST.
 - COMMENCE MASS GRADING OPERATIONS, COMPLETE REQUIRED CUTS AND FILLS. SILT FENCE TO BE MAINTAINED BY THE CONTRACTOR UNTIL GROUND COVER HAS BEEN ESTABLISHED.
 - CONTRACTOR MAY INSTALL UTILITIES DURING GRADING OPERATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO STABILIZE THE SITE AND VERIFY GRADING ELEVATIONS PRIOR TO UTILITY CONSTRUCTION. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS DIRECTED BY THE TOWN OF LEICESTER.
 - COMPLETE EARTHWORK, INCLUDING FINE GRADING OF SLOPES. LAWN AREAS TO BE REPLACED WITH 6" OF TOPSOIL, MULCHED AND SEED. WITHIN 2 DAYS OF COMPLETION.
 - COMPLETE INSTALLATION OF UNDERGROUND UTILITIES AND SIDEWALK. RESTORE AND RE-SEED AREAS AS NEEDED.
 - INSTALL CONCRETE TRUCK WASHOUT PRIOR TO CONCRETE POURING ACTIVITIES (SEE DETAIL).
- STEP 3: (STABILIZATION & MONITORING)**
 - SEED AND MULCH ALL DISTURBED AREAS AS REQUIRED BY GP-0-20-001. SEED WITH A SEED MIX AS INDICATED IN CONSTRUCTION EROSION CONTROL NOTES, AND MULCH.
 - FROM NOVEMBER 15TH TO APRIL 1ST, IF STRAW MULCH ALONE IS USED FOR TEMPORARY STABILIZATION, IT SHALL BE APPLIED AT DOUBLE THE STANDARD RATE OF 2 TONS PER ACRE, MAKING THE APPLICATION RATE 4 TONS PER ACRE.
 - MAINTAIN PERIMETER SILT FENCE UNTIL THE ADJACENT SOILS HAVE ACHIEVED 80% STABILIZATION.
 - SEE CONSTRUCTION EROSION CONTROL NOTES FOR REQUIRED SEED MIXES AND TEMPORARY/WINTER STABILIZATION METHODOLOGY.
 - DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE EFFECT ON THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED AND/OR AS DIRECTED BY THE TOWN ENGINEER OR OWNER.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE EXISTING ROADWAYS, PAVED AREAS, AND CHANNELS FREE OF MUD, DIRT, AND DEBRIS. THE CONTRACTOR WILL CLEAN THESE AREAS AS NECESSARY OR AS REQUIRED BY THE OWNER OR TOWN OF LEICESTER.



- 1. STONE SIZE - USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- 2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- 3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
- 4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- 5. GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- 6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ACCESS SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- 7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- 8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

ADAPTED FROM DETAILS PROVIDED BY: USDA - NRCS, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE.



- 1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
- 2. FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
- 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA 1140N, OR APPROVED EQUIVALENT.
- 4. PREFABRICATED UNITS SHALL BE GEOTAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- 5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

ADAPTED FROM DETAILS PROVIDED BY: USDA - NRCS, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE.

NOT APPROVED

This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

Drawing Alteration from the New York State Education Law Article 145 Section 7209 and applies to this drawing. It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way if an item bearing the seal of an engineer or land surveyor is altered. The altering engineer or land surveyor shall affix to the item his seal and the notation "altered by" followed by his signature and the date of each alteration, and a specific description of the alteration.

REVISIONS	DATE	BY
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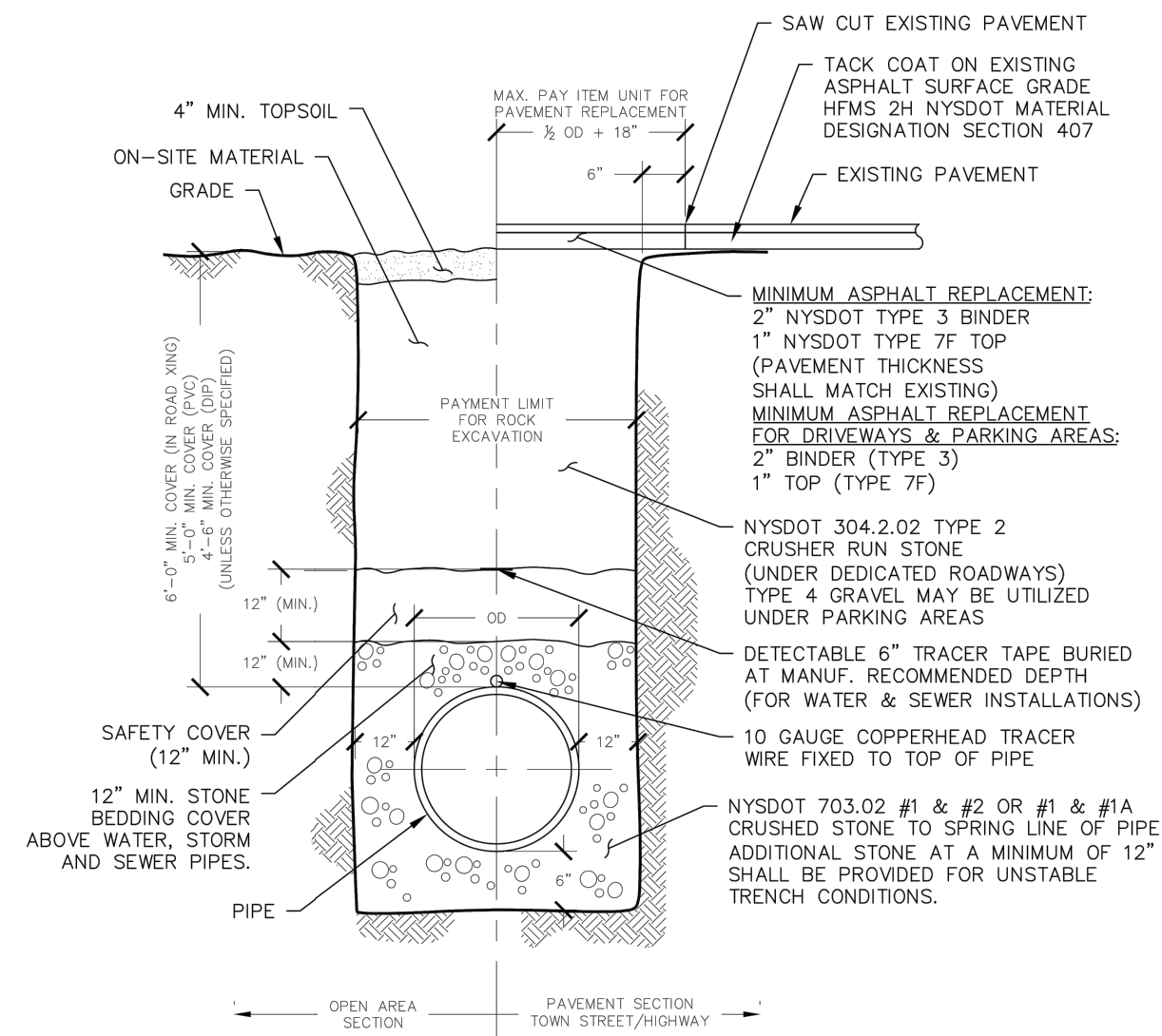
BME ASSOCIATES
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10 LIFT BRIDGE LANE EAST
WWW.BMEGROUP.COM
PHONE: 563-577-7260
FAX: 563-577-7369



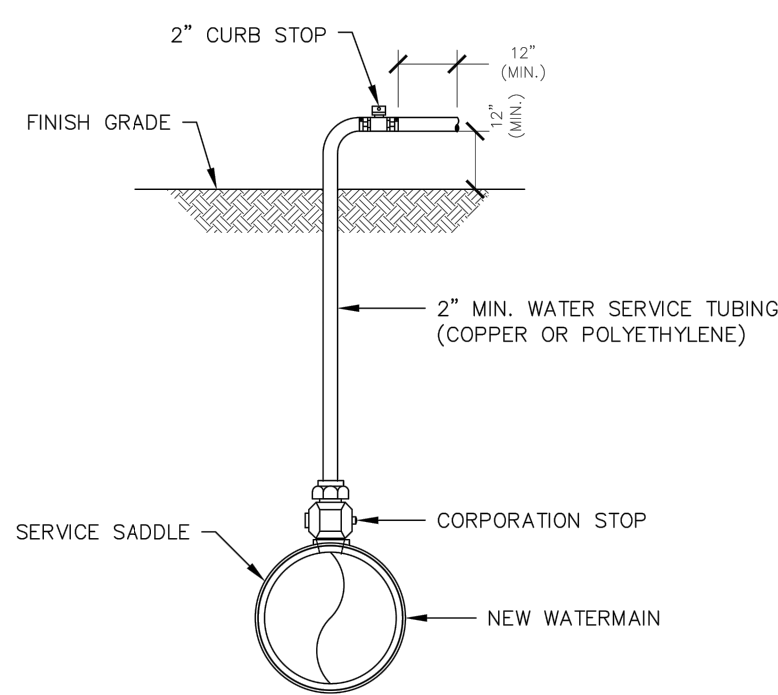
SENECA FOODS
TOWN OF LEICESTER, LIVINGSTON COUNTY, NEW YORK STATE
SENECA FOODS CORPORATION
2705 COUNTY ROUTE 37
LEICESTER, N.Y. 14861

PROJECT LOCATION CLIENT DRAWING TITLE
PROJECT: MORRIS RESERVE, SQUAWKIE HILL RESERVATION, GREAT LOTS 19, 22, 27, 30, TAX ACCOUNT NUMBER 120.25-3-1
CLIENT: SENECA FOODS CORPORATION
DRAWING TITLE: GRADING AND CONSTRUCTION EROSION PLAN

PROJECT MANAGER
JL SWEDROCK
PROJECT ENGINEER
JL SWEDROCK
DRAWN BY
M SERENI
SCALE
1"=50'
DATE ISSUED
OCTOBER 2021
PROJECT NO.
2794
DRAWING NO.
02

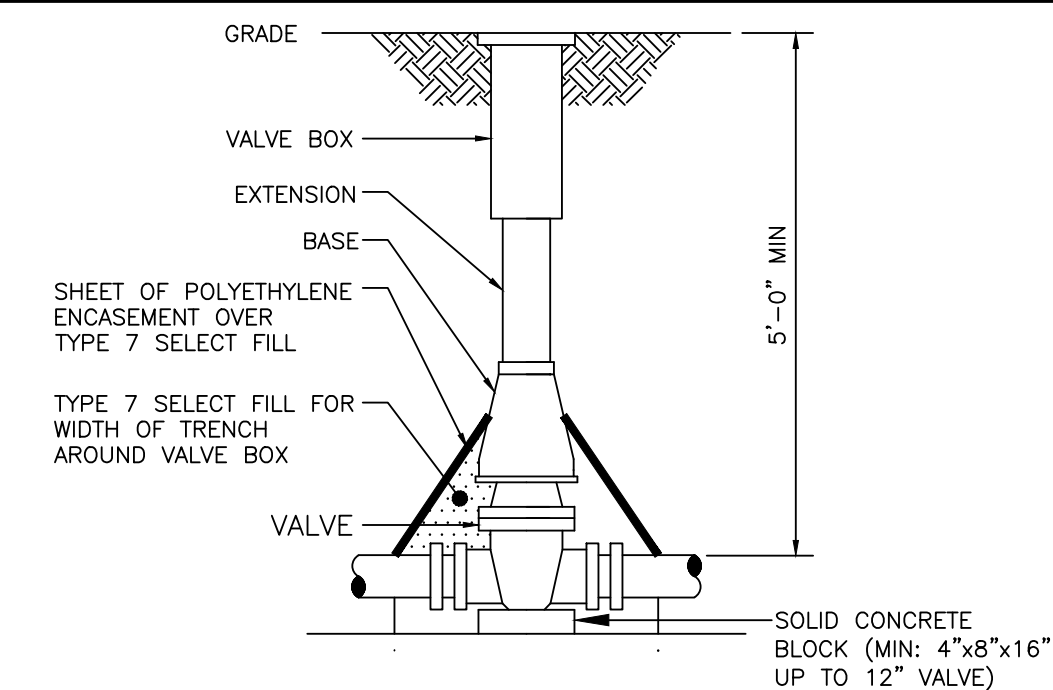


WATERMAIN TRENCH DETAIL
(N.T.S.)



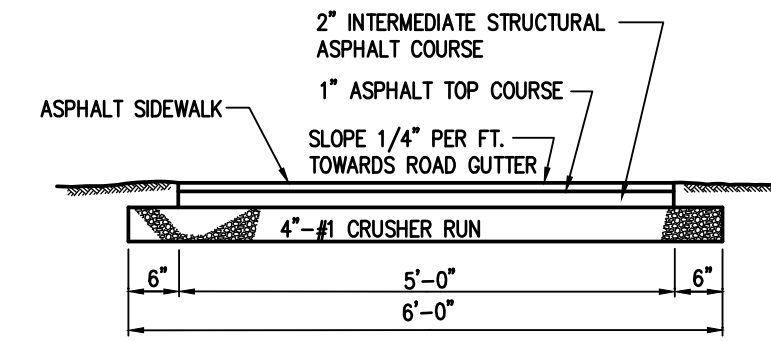
- NOTES:
- UPON NOTIFICATION FROM THE HEALTH DEPARTMENT THAT A SATISFACTORY WATER SAMPLE HAS BEEN OBTAINED, SHUT DOWN CORPORATION STOP AND REMOVE THE SERVICE TUBING.
 - IMMEDIATELY PRIOR TO PLACING THE WATER MAIN IN SERVICE THE CONTRACTOR SHALL REMOVE ALL CORPORATIONS ASSOCIATED WITH TEMPORARY FACILITIES (I.E. SAMPLING TAPS, ETC.) AND REPLACE WITH THREADED BRASS PLUGS.
 - FOR DISINFECTION/SAMPLING TAPS THAT ARE NOT NEEDED TO BLOW-OFF, 1" DISINFECTION/SAMPLING TAPS ARE ACCEPTABLE.
 - 1000 LF MAXIMUM DISTANCE BETWEEN SAMPLE TAPS UNLESS OTHERWISE SPECIFIED BY ENGINEER.

DISINFECTION/SAMPLING TAP/BLOW OFF DETAIL
(N.T.S.)



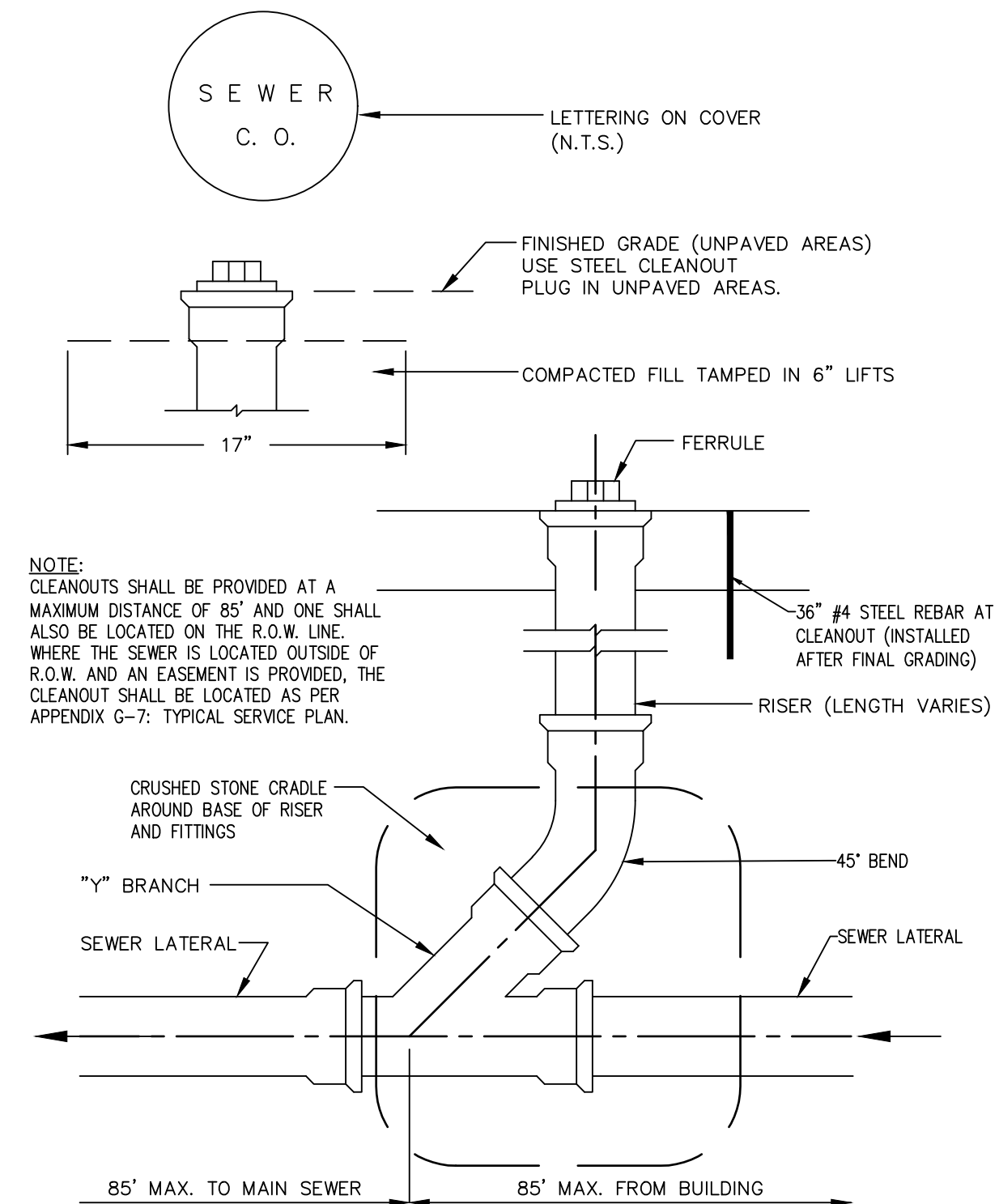
- NOTES:
- VALVE BOX SHALL BE CENTERED ON VALVE AND SET ON COMPACTED BACKFILL.
 - VALVE SHALL NOT SUPPORT VALVE BOX.
 - ALL VALVES SHALL BE OPEN LEFT EXCEPT:

VALVE
NOT TO SCALE



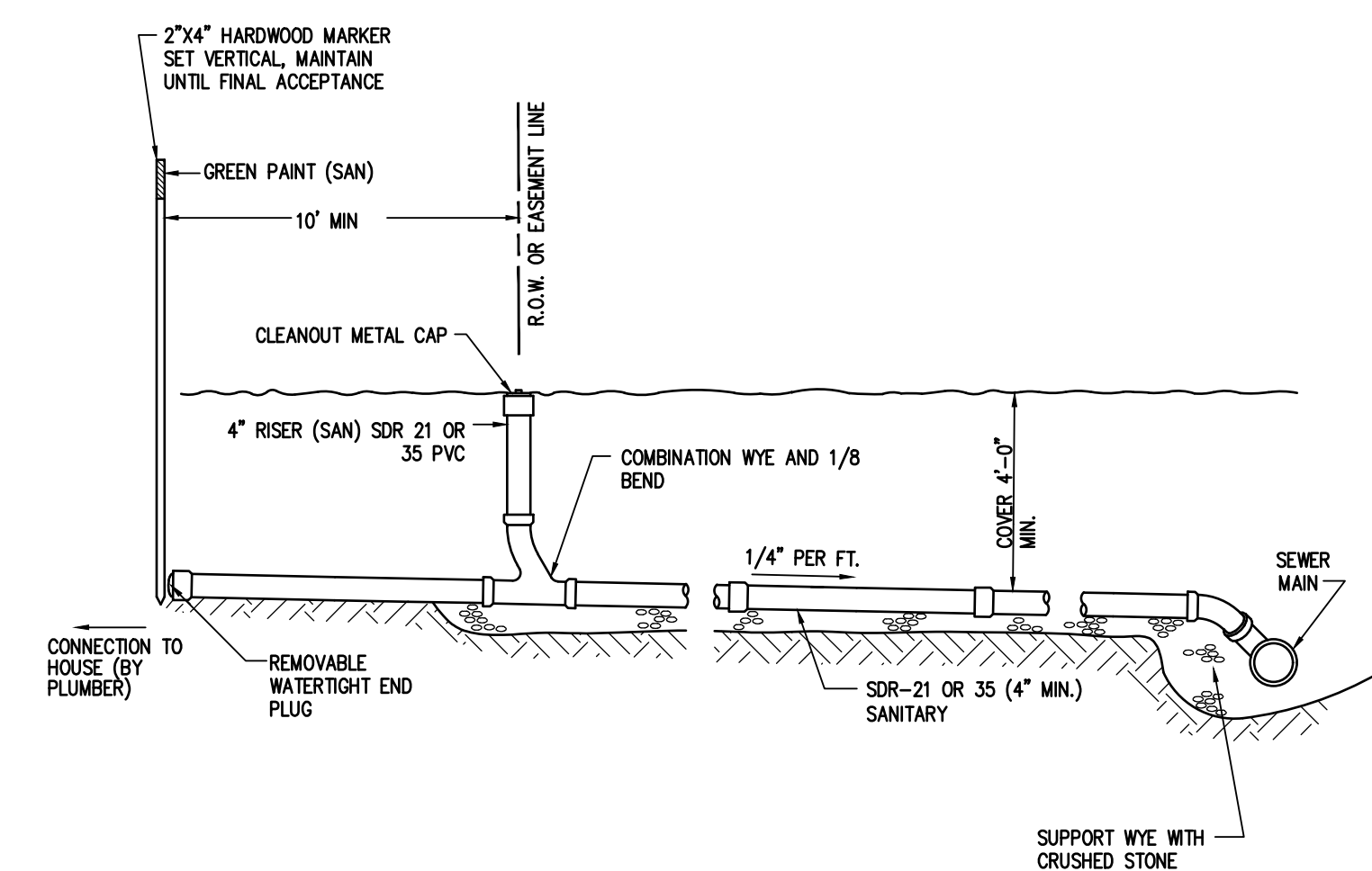
NOTE:
SIDEWALK CONSTRUCTION SHALL BE AS FOLLOWS: 5' WIDE ASPHALT - 2" INTERMEDIATE STRUCTURAL ASPHALT COURSE AND 1" ASPHALT TOP COURSE. THE BASE SHALL BE 4" OF COMPACTED #1 CRUSHER RUN AND SHALL BE 6' WIDE. THE ASPHALT MATERIALS WILL BE DETERMINED BY THE COMMISSIONER OF PUBLIC WORKS.

TYPICAL ASPHALT SIDEWALK DETAIL
N.T.S.



NOTE:
CLEANOUTS SHALL BE PROVIDED AT A MAXIMUM DISTANCE OF 85' AND ONE SHALL ALSO BE LOCATED ON THE R.O.W. LINE. WHERE THE SEWER IS LOCATED OUTSIDE OF R.O.W. AND AN EASEMENT IS PROVIDED, THE CLEANOUT SHALL BE LOCATED AS PER APPENDIX G-7: TYPICAL SERVICE PLAN.

SANITARY CLEANOUT DETAIL
(N.T.S.)

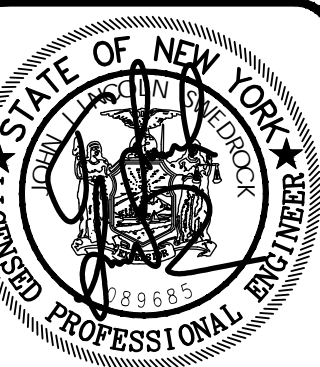


TYPICAL SANITARY SEWER BUILDING LATERAL
N.T.S.

Drawing Alteration
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NO.	DATE	BY
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6		
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BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
10 LIFT BRIDGE LANE EAST
LEICESTER, N.Y. 14600
PHONE: 565-377-7360
FAX: 565-377-7369
WWW.BMEPC.COM



SENECA FOODS
TOWN OF LEICESTER, LIVINGSTON COUNTY, NEW YORK STATE
SENECA FOODS CORPORATION
5705 ROUTE 34
LEICESTER, N.Y. 14681

PROJECT: SENECA FOODS CORPORATION
LOCATION: 5705 ROUTE 34
CLIENT: LEICESTER, N.Y. 14681
DRAWING TITLE: DETAIL SHEET

PROJECT MANAGER: J.L. SWEDROCK
PROJECT ENGINEER: J.L. SWEDROCK
DRAWN BY: M. SERENI
SCALE: N.T.S.
DATE ISSUED: OCTOBER 2021
PROJECT NO.: 2794

DRAWING NO.: 03

TOWN OF LEICESTER
APPLICATION FOR REVIEW AND APPROVAL OF SITE PLAN
Application Fee: \$25.00 – Payable to Town of Leicester

Name of Project/Development: Seneca Foods Corporation

Applicant

Name: Seneca Foods Corporation

Address: PO Box 278, 5705 Route 36
Leicester, NY 14481

Phone #: (585) 664-4934

Owner, if different

Name: _____

Address: _____

Phone #: _____

Town Invoices to be sent to:

Name: Tammi Beaumont

Address: 5705 Route 36
Leicester, NY 14481

Phone #: (585) 658-2211

Email: tbeaumont@senecafoods.com

Town/City: Leicester

Zip: 14481

I, the undersigned applicant/owner/other, hereby request approval by the Town of Leicester Planning Board for the attached site plan(s).

Name: Ryan Schuyler

Relationship/Company/Contractor: Plant Manager

Address: 5705 Route 36, Leicester, NY 14481

Contact Email: rschuyler@senecafoods.com

Phone #: (585) 658-2211, ext. 60237

Plan prepared and signed by the following licensed engineer and/or land surveyor:

Name: BME Associates

Phone#: (585) 377-7360

Address: 10 Liftbridge Lane East
Fairport, NY 14450

Email: lswedrock@bmepc.com

Proposed use of site: Proposed +/-4,460 s.f. residential accessory building, including a future +/-4,460 s.f. residential
accessory building with connection to public water and sewer.

APPLYING FOR TAX EXEMPTION?(other than a RPTL485-b, business exemption) __ YES NO

WILL YOU BE APPLYING FOR A PILOT AGREEMENT? __ YES NO

Description of location for proposed site plan (distance and direction to nearest road intersection): _____

Proposed residential accessory buildings located east of NYS Route 37.

Site Plan Application, page 2

Tax Map # 97.00-1-33.1 Current total site area (sq. ft./acres) 20.3 Ac Total site area when developed: 20.3 Ac.

Current use of land/site: Existing Seneca Foods Corporation plant.

Zoning district: I (IND)

Current condition of the site (buildings, brush, etc)?: Existing buildings/lawn

Character of the surrounding lands (agricultural, wetlands, commercial, residential, etc.): _____

Agricultural

Is the property in a flood hazard district area? No

Is there an easement, right-of-way, or some other restriction on the property? (Where?) YES NO

Neighbors/Businesses within 500 ft. (also addresses, if available): N/A

ARE THERE ANY STATE AND FEDERAL PERMITS REQUIRED? YES NO

LIST TYPE AND APPROPRIATE DEPARTMENT: _____

ADDITIONAL FORMS REQUIRED:

- **SEQRA FORM:** Check with Code Enforcement Officer (phone 585-519-6289) to see which EAF form is needed.

Please note: If SSEQRA long form is indicated, see DEC website.

- **AG DATA STATEMENT:**

If the proposed activity will be located on property containing a farm operation or on property with boundaries within 500' located in an agricultural district, then an **Ag Data Statement** must be completed.

Check with the Town Assessor (585-382-3231) or Real Property (585-243-7192) for property owners to be listed on the form.

Site Plan Application, page 3

1. Proposed building location: +/-220' east of County Road 37.

2. Building uses, primary and secondary uses, ground floor area height, and number of stories of each building:
One-story accessory residential structures proposed.

3. Building(s) architecture/colors/textures/design compatibility with the character of the Town of Leicester:
Provided building elevations and floor plans.

4. Parking (number of spaces and location relating to highway): None proposed.

5. Lighting/Landscape (**plans required**): N/A, typical residential structure

6. Traffic/Road(s) location County Road 37

7. Is public water available? **YES** **NO** Is public sewer available? **YES** **NO**

This application was reviewed by the Code Enforcement Office.

Signature

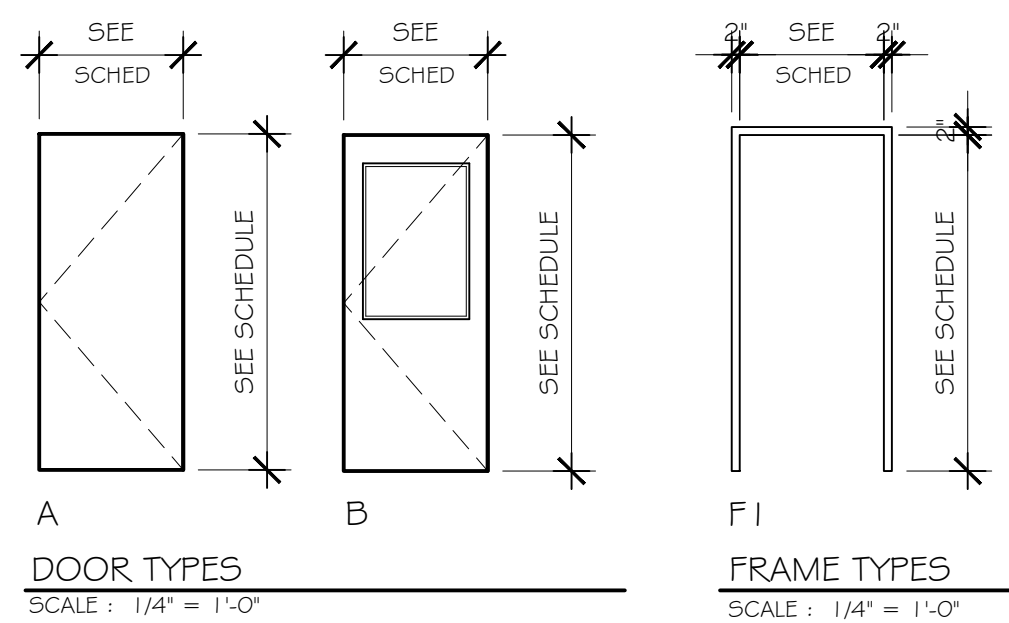
Date

FINISH SCHEDULE						
NAME	FLOOR	BASE	WALL	CEILING	NOTES	
						LVT
100 ENTRY						
101 HALLWAY						
102 BUNK ROOM						
103 BUNK ROOM						
104 BUNK ROOM						
105 BUNK ROOM						
106 BUNK ROOM						
107 BUNK ROOM						
108 BUNK ROOM						
109 UTILITY						
110 MEN						
111 STORAGE						
112 M SHOWER						
113 W SHOWER						
114 WOMEN						
115 STORAGE						
116 LAUNDRY						

Note:
 BCNYS 803: All wall/ ceiling finishes to be min class C flame spread
 BCNYS 804: All floor finishes to be min class 2 critical radiant flux
 BCNYS 1210.1: Floors in toilet/ bathing rooms to have smooth, hard, nonabsorbent surface extending 4' up walls
 BCNYS 1210.2: Walls within 2' of urinals and water closets to have smooth, hard, nonabsorbent surface to a height of 4ft above floor minimum

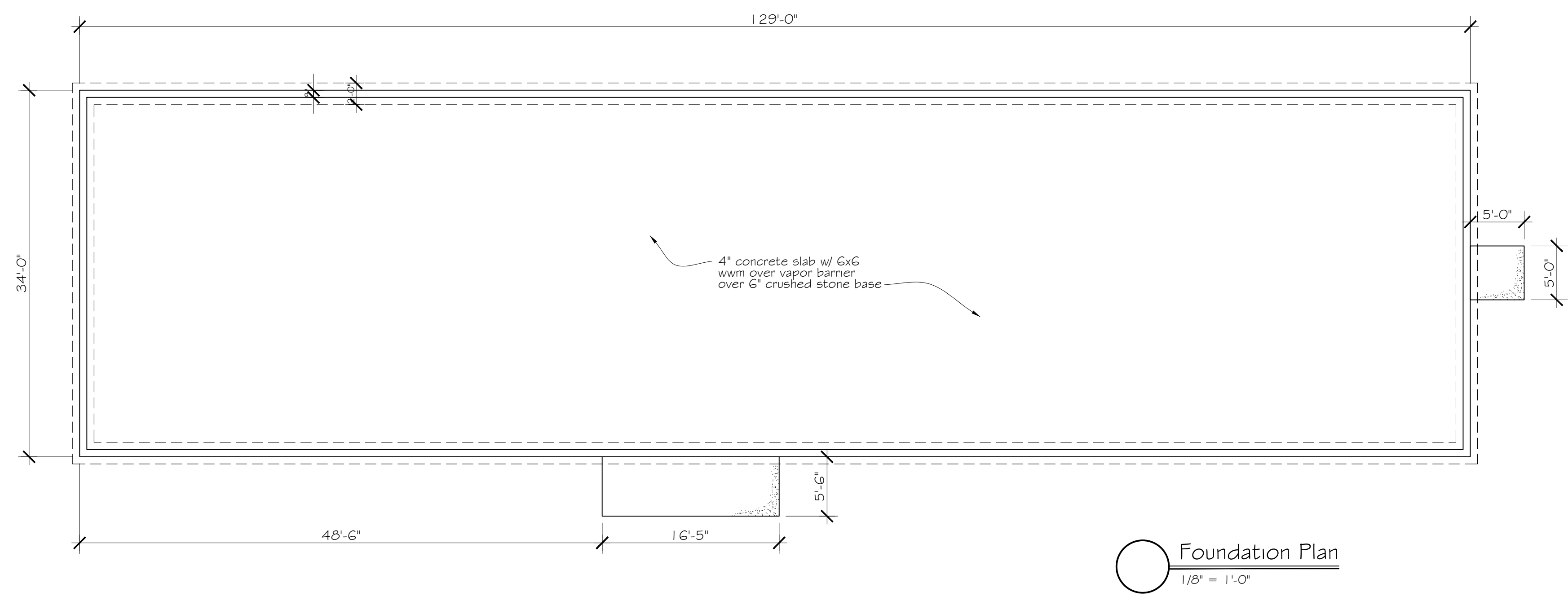
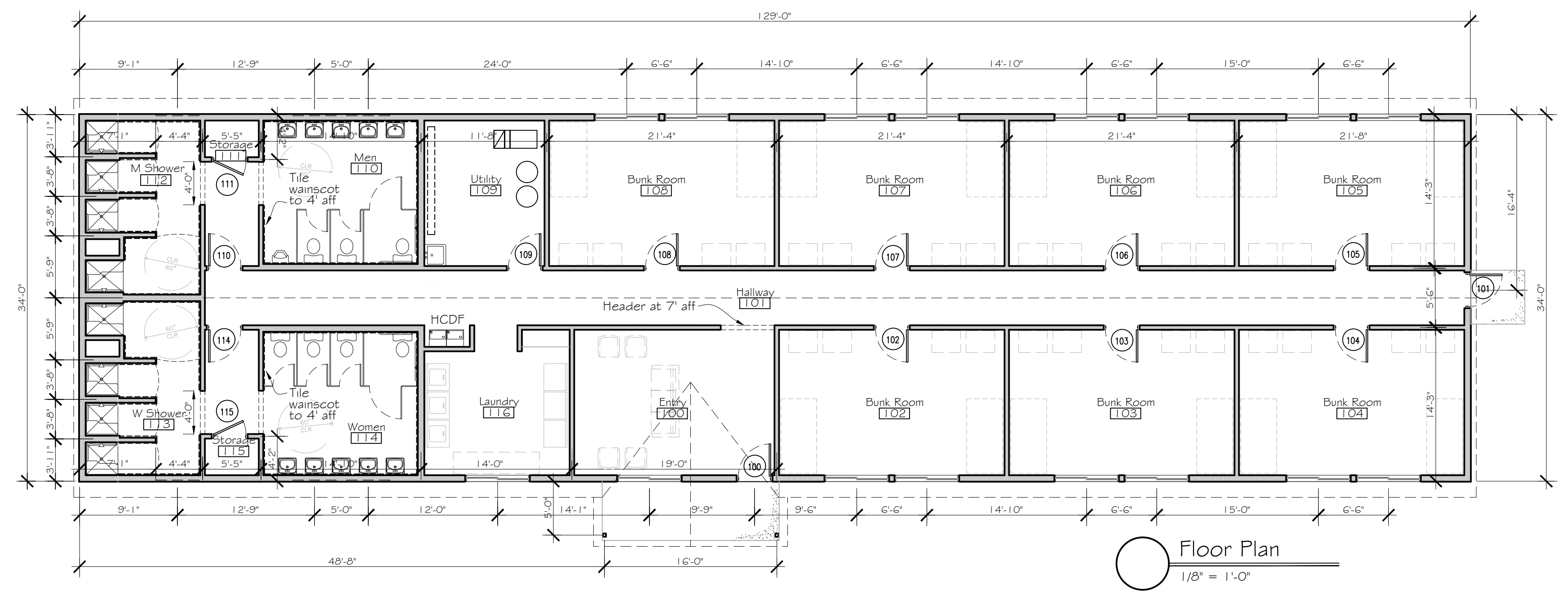
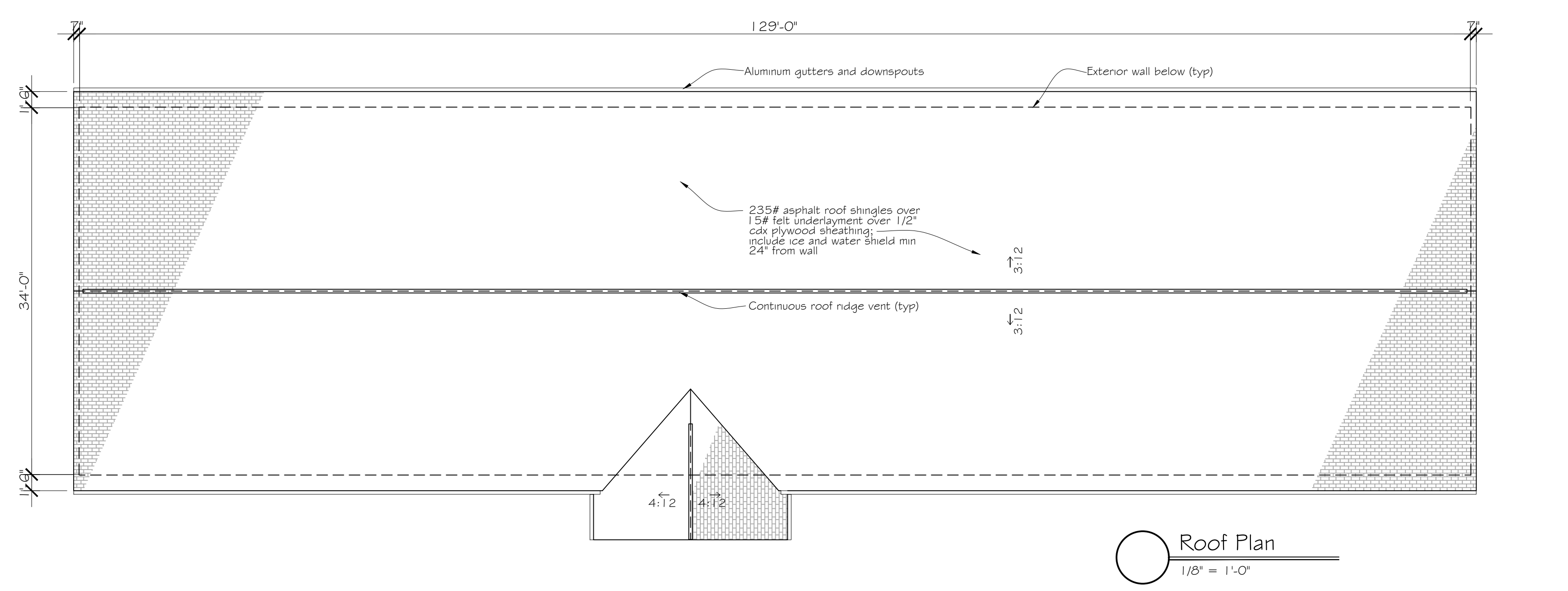
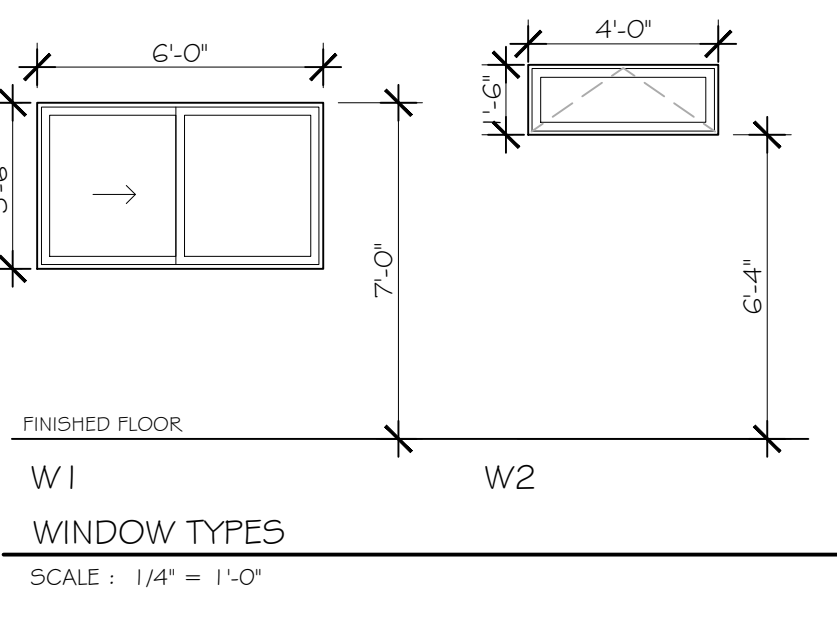
DOOR SCHEDULE														
NUMBER	ROOM	TYPE	MATL	WIDTH	HEIGHT	THICK	FINISH	RATING	HDW	FTYPE	FMATL	FFIN	FRDEPTH	REMARKS
100	ENTRY	B	HM	3'-0"	7'-0"	1-3/4"	PAINT	-	2	F1	HM	PAINT	8-7/8"	Exterior
101	HALLWAY	A	HM	3'-0"	7'-0"	1-3/4"	PAINT	-	2	F1	HM	PAINT	8-7/8"	Exterior
102	BUNK ROOM	A	SQOAK VENEER	3'-0"	7'-0"	1-3/4"	CLEAR	-	3	F1	HM	PAINT	5-3/4"	
103	BUNK ROOM	A	SQOAK VENEER	3'-0"	7'-0"	1-3/4"	CLEAR	-	3	F1	HM	PAINT	5-3/4"	
104	BUNK ROOM	A	SQOAK VENEER	3'-0"	7'-0"	1-3/4"	CLEAR	-	3	F1	HM	PAINT	5-3/4"	
105	BUNK ROOM	A	SQOAK VENEER	3'-0"	7'-0"	1-3/4"	CLEAR	-	3	F1	HM	PAINT	5-3/4"	
106	BUNK ROOM	A	SQOAK VENEER	3'-0"	7'-0"	1-3/4"	CLEAR	-	3	F1	HM	PAINT	5-3/4"	
107	BUNK ROOM	A	SQOAK VENEER	3'-0"	7'-0"	1-3/4"	CLEAR	-	3	F1	HM	PAINT	5-3/4"	
108	BUNK ROOM	A	SQOAK VENEER	3'-0"	7'-0"	1-3/4"	CLEAR	-	3	F1	HM	PAINT	5-3/4"	
109	UTILITY	A	SQOAK VENEER	3'-0"	7'-0"	1-3/4"	CLEAR	-	3	F1	HM	PAINT	5-3/4"	
110	MEN	A	SQOAK VENEER	3'-0"	7'-0"	1-3/4"	CLEAR	-	5	F1	HM	PAINT	5-3/4"	
111	STORAGE	A	SQOAK VENEER	3'-0"	7'-0"	1-3/4"	CLEAR	-	3	F1	HM	PAINT	5-3/4"	
112	M SHOWER		not used											
113	W SHOWER		not used											
114	WOMEN	A	SQOAK VENEER	3'-0"	7'-0"	1-3/4"	CLEAR	-	5	F1	HM	PAINT	5-3/4"	
115	STORAGE	A	SQOAK VENEER	3'-0"	7'-0"	1-3/4"	CLEAR	-	3	F1	HM	PAINT	5-3/4"	
116	LAUNDRY		not used											

Note: See Finish Specifications for stain/ paint colors

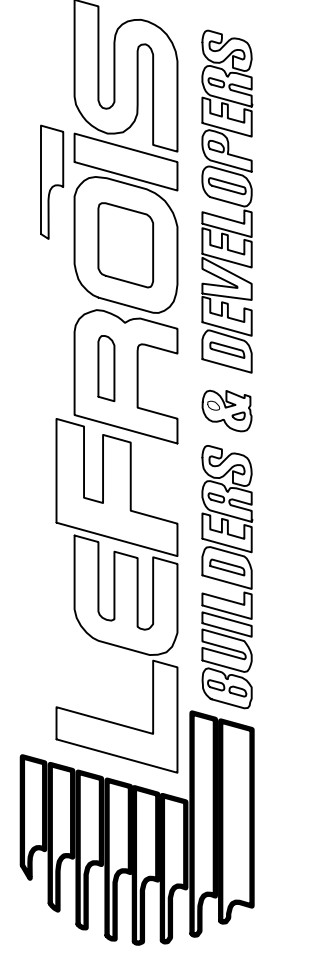


- 1 PADDLE HANDLE STRIKE
 - 2 ENTRANCE LEVER
 - 3 PASSAGE LEVER
 - 4 PRIVACY LEVER
 - 5 PUSH/PULL SELF CLOSING
 - 6 BYPASSING SLIDING
 - 7 ELECTRIC LIFT
 - 8 MANUAL LIFT
 - 9 CLASSROOM LEVER
 - 10 STOREROOM LEVER
 - 11 BI-FOLD
 - 12 CARD READER
 - 13 CONTACT PLATES
- ALL EXTERIOR DOORS TO INCLUDE:
 THRESHOLD
 WEATHERSTRIPPING
 SELF-CLOSING DEVICE
 INSULATED
- ALL RATED DOORS AND VESTIBULE DOORS
 TO INCLUDE SELF CLOSING DEVICE
- HARDWARE GROUPS**

WINDOW SCHEDULE							
NUMBER	TYPE	SIZE (WxH)	DEPTH	FRAME	GLASS	NOTE	QTY
A	W1	6'-0" x 3'-6"	4-1/2"	VINYL	PRE-FIN	INSULATED GLIDER	16
B	W2	4'-0" x 1'-6"	4-1/2"	VINYL	PRE-FIN	INSULATED AWNING	6



1020 Lehigh Station Road
 Henrietta, New York 14487
 585-384-1122
 www.Lefrancis.com



DRAWING ALTERATION

The following is an excerpt from the NYCRR Title VIII Ch II Part 609.5b and applies to this drawing:
 "It is a violation of this law for any person, unless acting under the direct supervision of a licensed architect or a licensed professional engineer, to alter an item on this document in any way. If an item bearing the seal of an architect or engineer is altered, the altering architect or engineer shall affix their seal and the notation 'Altered by' followed by their signature and date of such alteration and a specific description of the alteration."

REVISIONS	
PROGRESS PLOT	10-18-2021
ISSUED FOR FINAL BIDDING	
ISSUED FOR PERMIT	
ISSUED FOR CONST.	

NO.	DATE	DESCRIPTION

PROJECT

Seneca Foods
 Farmworker Housing

LOCATION

5705 NY-36
 Town of Leicester
 Livingston County
 New York

DRAWING TITLE

Proposed Floor Plan

SHEET NO. **A-1**

SCALE: As noted

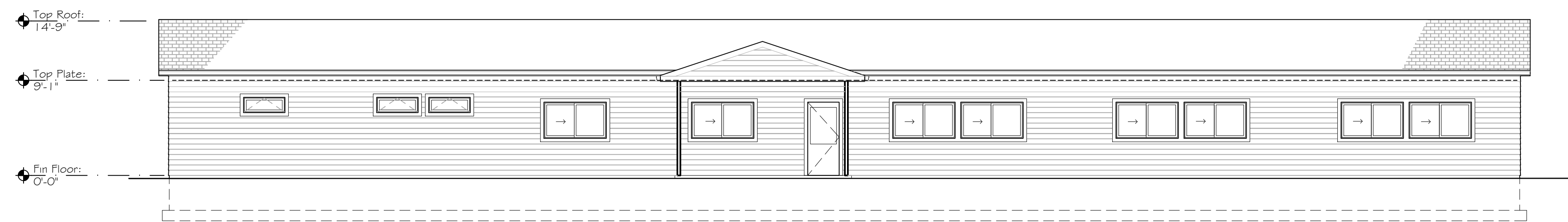
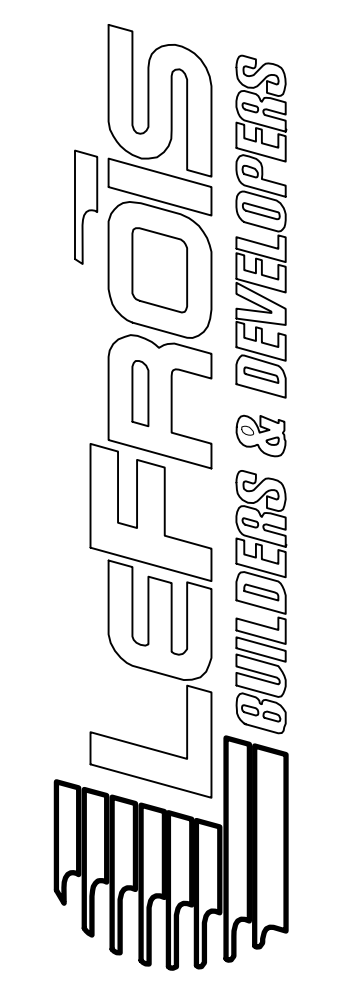
DRAWN BY: BRM

CHECKED BY: BRM

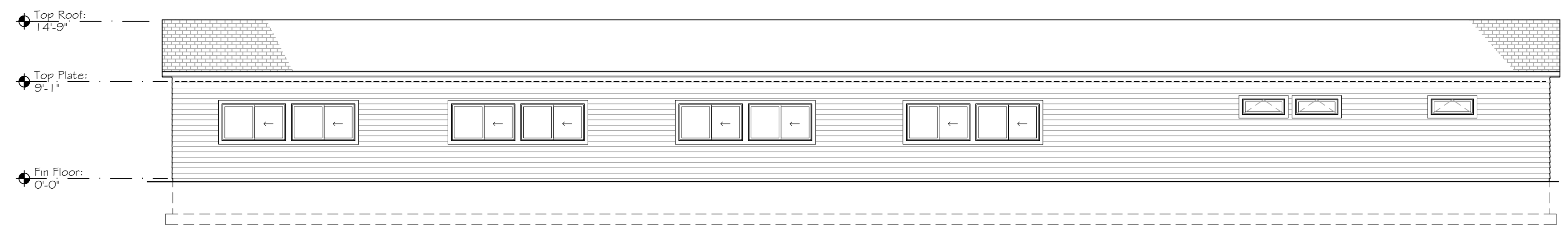
DATE: Feb 2021

DRAWING:

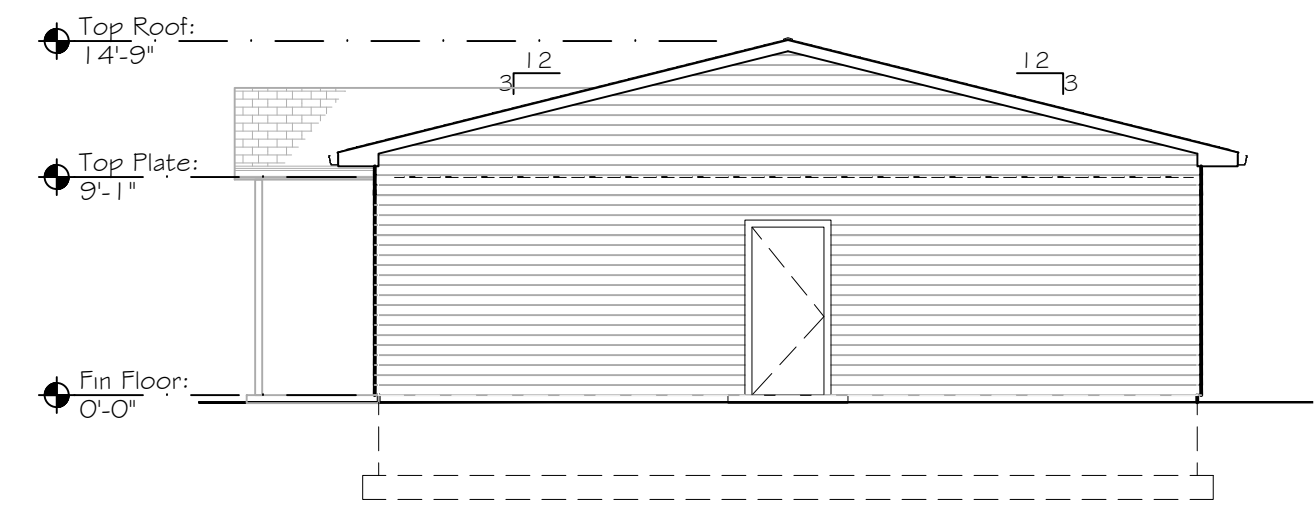
1020 Lehigh Station Road
 Henrietta, New York 14467
 565-384-1122
 www.Lefprois.com



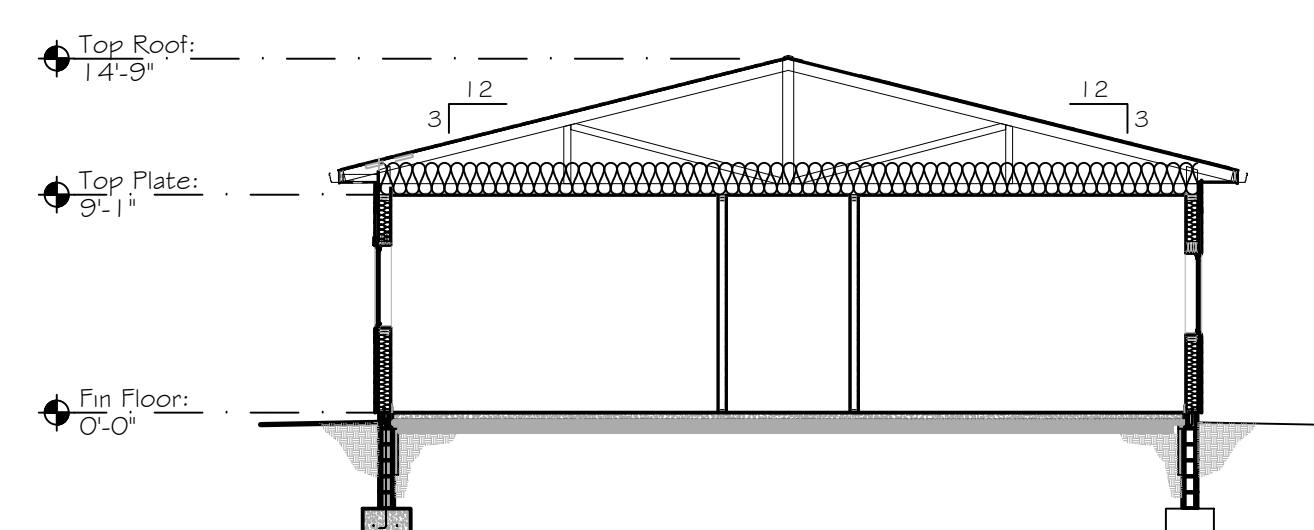
Front Elevation
 1/8" = 1'-0"



Rear Elevation
 1/8" = 1'-0"



Side Elevation
 1/8" = 1'-0"



Building Section
 1/8" = 1'-0"

DRAWING ALTERATION
 The following is an excerpt from the NYCRR Title VIII Ch II Part 609.55 and applies to this drawing:
 "It is a violation of this law for any person, unless acting under the direct supervision of a licensed architect or a licensed professional engineer, to alter an item on this document in any way, if an item bearing the seal of an architect or engineer is altered, the altering architect or engineer shall affix their seal and the notation 'Altered by' followed by their signature and date of such alteration and a specific description of the alteration."

REVISIONS

PROGRESS PLOT	10-18-2021	
ISSUED FOR FINAL BIDDING		
ISSUED FOR PERMIT		
ISSUED FOR CONST.		
NO.	DATE	DESCRIPTION

PROJECT

Seneca Foods
 Farmworker Housing

LOCATION
 5705 NY-36
 Town of Leicester
 Livingston County
 New York

DRAWING TITLE

Exterior Elevations
 Wall Section

SHEET NO.	SCALE: As noted
A-2	DRAWN BY: BRM
	CHECKED BY: BRM
	DATE: Feb 2021
	DRAWING:

**TOWN OF LEICESTER
AGRICULTURAL DATA STATEMENT**

Applicant:

Name: Seneca Foods Corporation
Address: PO Box 278
5705 Route 36, Leicester, NY 14481

Owner (if different)

N/A

List the farmland owners of the lands that are in an agricultural district that are located within 500' of the boundary of the property of the proposed project.

Name: Thornapple Dairy
Farming Benefit Trust (T.A. #97.00-01-48)
Address: 5672 Upper Mt. Morris Road
Leicester, NY 14481

Name: _____
Address: _____

Name: Sara Scondras
Address: River Road (T.A. #97.00-01-31.1)
3899 Huston Road
Geneseo, NY 14454

Name: _____
Address: _____

**PLEASE INCLUDE A MAP SHOWING THE SITE OF THE PROJECT RELATIVE TO THE FARM
OPERATIONS IN THE AGRICULTURAL DATA STATEMENT**

Description of the proposed project and its location:

Location of site: 5705 Route 36

Tax Map # 97.00-01-33.1

Total site area in square feet or acres: +/-20.26 acres

Ownership intentions/ proposed use of site: Seneca Foods Corporation

Anticipated construction time : 2022

Brief description of farm operation (s) that might be affected: _____
Existing industrial zoning district agricultural plant operations to be affected during construction.

J. Lincoln Swedrock
Signature of applicant/owner

BME Associates as Agent to Seneca Foods the Applicant

Tax ID
097.000-0001-031.00100

Owner
SCONDRAS SARA

Print Key
97.-1-31.1

Street Address
RIVER RD

Co Owner
AST JULIA D

Municipality **SWIS CODE**
TOWN OF LEICESTER 243089

Mailing Address
3899 HUSTON RD
GENESE0, NY 14454

Subdivision / Cross Street

Property Description
VAC FARMLAND
Use Code 105

Year Built 0	Heat	# of Bedrooms 0.0	Sq. Footage 0	# of Stories 0
House Type	Fuel	# of Baths 0.0	1st Floor SQFT 0	# Res. Units 0
Basement	Water NONE		2nd Floor SQFT 0	# of Buildings 0
Exterior	Sewer PUBLIC	# of Fireplaces 0	Base SQFT 0	# of Garages 0
	Central Air			Story Height 0

Assessment \$74,900	School MTMORRIS	North 1002788
Land Value \$74,900	School Tax \$1,576.65	East 1338542
Equalization Value 100% \$74,900		Latitude 42.7500655
Account # 0	County Tax \$1,102.53	Longitude -77.875007

Improvements

Improvement Type	Dimensions	SQ. Feet	Year	Improvement Type	Dimensions	SQ. Feet	Year
# 1	0 X 0	0		# 3	0 X 0	0	
# 2	0 X 0	0		# 4	0 X 0	0	

Land Characteristics

Total Acres 80.00	Land SQ FT 3,484,800	Lot Size 0 X 0
Primary	Secondary	Leased
Wetlands	Water Front	Residual
Waste 17.00	Muck	Orchards
		Undeveloped
		Tillabe
		Vineyards
		Wooded
		Pasture 63.00
		Rear

Sales History

Grantor	Sale Price	Sale Date	Deed Book	Deed Page	Deed Valid	Deed Type	ARMS Length
		/ /					

Notes

Tax ID 097.000-0001-048.00000	Owner THORNAPPLE DAIRY FARMING	Print Key 97.-1-48
Street Address 5672 UPPER MT MORRIS RD	Co Owner	Municipality TOWN OF LEICESTER
Mailing Address 2414 JONES BRIDGE RD LEICESTER, NY 14481	Subdivision / Cross Street	SWIS CODE 243089
		Property Description FIELD CROPS
		Use Code 120

Year Built 1900	Heat HOT	# of Bedrooms 4.0	Sq. Footage 2,016	# of Stories 2
House Type OLD STYLE	Fuel GAS	# of Baths 1.0	1st Floor SQFT 1,236	# Res. Units 0
Basement FULL	Water PUBLIC		2nd Floor SQFT 780	# of Buildings 2
Exterior WOOD	Sewer PRIVATE	# of Fireplaces 0	Base SQFT 0	# of Garages 0
	Central Air			Story Height 0

Assessment 1,022,500	School MTMORRIS	North 1001557
Land Value \$938,900	School Tax \$21,523.63	East 1333886
Equalization Value 100% 1,022,500		Latitude 42.7467939
Account # 0	County Tax \$15,051.20	Longitude -77.892379

Improvements

Improvement Type	Dimensions	SQ. Feet	Year	Improvement Type	Dimensions	SQ. Feet	Year
# 1 PORCH,COVERD	120 X 0	120	1900	# 3 SHED,MACHINE	168 X 0	168	1940
# 2 SHED,MACHINE	864 X 0	864	1965	# 4 BARN,2.0 GEN	3960 X 0	3960	1940

Land Characteristics

Total Acres 345.00	Land SQ FT * * * * *	Lot Size 0 X 0
Primary 1.00	Secondary	Leased
Wetlands	Water Front	Residual
Waste 59.50	Muck	Orchards
		Undeveloped
		Tillabe 11.20
		Vineyards
		Wooded 84.10
		Pasture
		Rear

Sales History

Grantor	Sale Price	Sale Date	Deed Book	Deed Page	Deed Valid	Deed Type	ARMS Length
THORNAPPLE DAIRY	1	08/25/2015	1275	2778			N
CB EQUIPMENT &		09/30/2010	1260	1513			

Notes

Tax ID 097.000-0001-033.00100	Owner SENECA FOODS INC	Print Key 97.-1-33.1
Street Address 5799 MT MORRIS RD	Co Owner	Municipality TOWN OF LEICESTER
Mailing Address LEICESTER, NY 14481	Subdivision / Cross Street	SWIS CODE 243089
		Property Description MANUFACTURE
		Use Code 710

Year Built 1990	Heat	# of Bedrooms 0.0	Sq. Footage 195,885	# of Stories 1
House Type	Fuel	# of Baths 0.0	1st Floor SQFT 0	# Res. Units 0
Basement	Water PUBLIC		2nd Floor SQFT 0	# of Buildings 1
Exterior	Sewer NONE	# of Fireplaces 0	Base SQFT 0	# of Garages 0
	Central Air			Story Height 14

Assessment 2,492,000	School MTMORRIS	North 1000312
Land Value \$252,400	School Tax \$52,456.60	East 1336580
Equalization Value 100% 2,492,000		Latitude 42.743317
Account # 0	County Tax \$36,682.24	Longitude -77.882388

Improvements

Improvement Type	Dimensions	SQ. Feet	Year	Improvement Type	Dimensions	SQ. Feet	Year
# 1	0 X 0	0		# 3	0 X 0	0	
# 2	0 X 0	0		# 4	0 X 0	0	

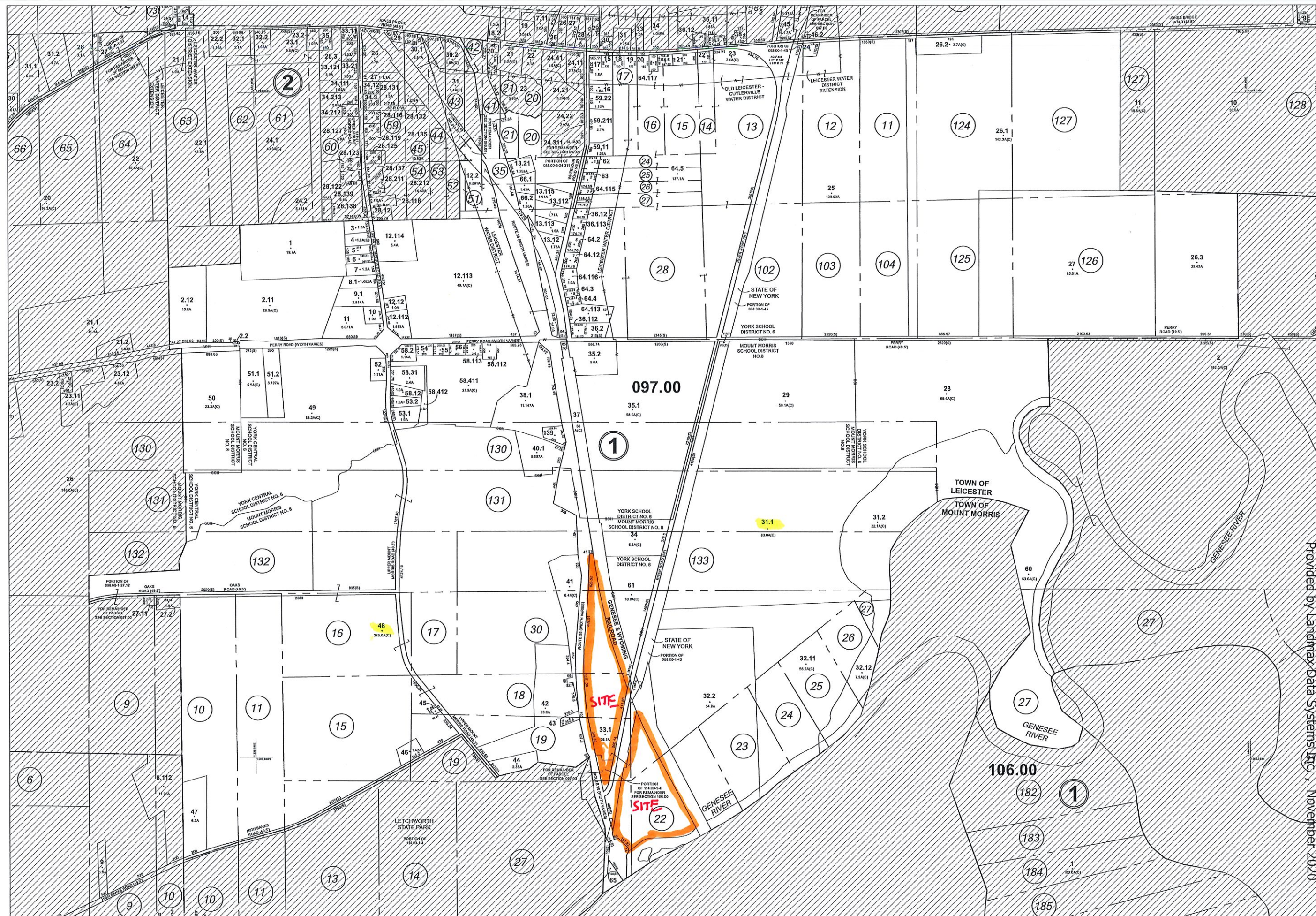
Land Characteristics **Total Acres** 36.10 **Land SQ FT** 1,572,516 **Lot Size** 0 X 0

Primary 15.00	Secondary	Leased	Undeveloped	Wooded
Wetlands	Water Front	Residual 21.10	Tillabe	Pasture
Waste	Muck	Orchards	Vineyards	Rear

Sales History

Grantor	Sale Price	Sale Date	Deed Book	Deed Page	Deed Valid	Deed Type	ARMS Length
		//					

Notes



PREPARED FOR
LIVINGSTON COUNTY
REAL PROPERTY TAX SERVICES
 LIVINGSTON COUNTY GOVERNMENT CENTER
 GENESÉE, NEW YORK
 PREPARED BY
 DENLUCK, THOMAS, MCCOY & ASSOCIATES

THIS MAP WAS PREPARED FOR TAX PURPOSES ONLY AND IS NOT TO BE REPRODUCED OR USED FOR SURVEYING OR CONVEYANCING. MAP CONVERTED TO DIGITAL TAXMAP FORMAT. JULY 2005 BY WELER MAPPING, A DIVISION OF JAMES W. SEWELL, CO.

DATE	MADE BY	CHANGES OR ADDITIONS
08/10/18	MP	REPLACED ALL MAPS INTO 18 611 & 68 612, 616 18 12 & 68 616, 620 18 12
08/10/18	MP	REPLACED ALL MAPS INTO 18 611 & 68 612, 616 18 12 & 68 616
08/10/18	MP	REPLACED ALL MAPS INTO 18 611 & 68 612, 616 18 12 & 68 616
08/10/18	MP	REPLACED ALL MAPS INTO 18 611 & 68 612, 616 18 12 & 68 616
08/10/18	MP	REPLACED ALL MAPS INTO 18 611 & 68 612, 616 18 12 & 68 616

SPECIAL DISTRICTS
YORK CENTRAL S.D. NO. 6
MT MORRIS CENTRAL S.D. NO. 8
LEICESTER FIRE DIST
OLD LEICESTER-CUTLERVILLE W.D.

PROPERTY LINE	TOURN LINE	FIRE DISTRICT LINE	GREAT LOT #
SOLID LINE	DASHED LINE	DASHED LINE	32.2 (C)
DASHED LINE	DASHED LINE	DASHED LINE	32.1 (A)
DASHED LINE	DASHED LINE	DASHED LINE	18(13)
DASHED LINE	DASHED LINE	DASHED LINE	17(2)
DASHED LINE	DASHED LINE	DASHED LINE	1

LEGEND
--- FIRE DISTRICT LINE
--- DENOTES COMMON OWNER
--- TAX MAP BLOCK #
--- TAX MAP PARCEL #
--- PRELIM PLAN LOT #

LEGEND
--- ROAD OR RAILROAD BOUNDARY
--- COUNTY LINE
--- TOWN LINE
--- VILLAGE LINE
--- BLOCK LIMIT
--- GREAT LOT LINE
--- SCHOOL DISTRICT LINE
--- WATER DISTRICT LINE

LEGEND	
--- GREAT LOT #	32.2 (C)
--- CALCULATED ACREAGE	32.1 (A)
--- DEED ACREAGE	18(13)
--- SCALED DIMENSION	17(2)
--- DEED DIMENSION	1
--- COORDINATE LOCATOR	

TAX MAP
LIVINGSTON COUNTY
 LIVINGSTON COUNTY, N.Y.
 SHEET INDEX
 87 88 89
 98 99 100
 105 106
 1

Provided by Landrax Data Systems Inc, November 2020

AG DATA STATEMENT

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

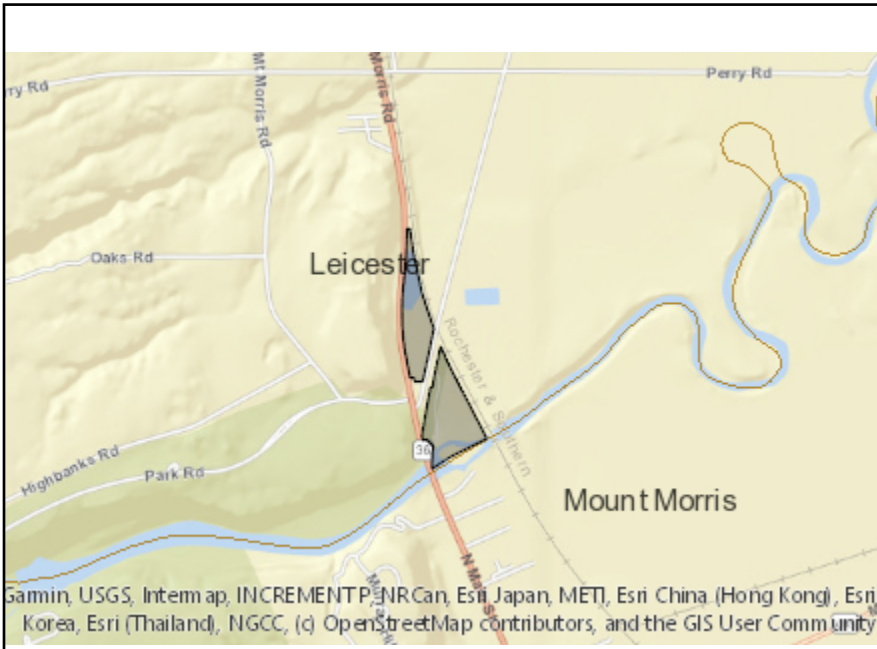
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information				
Name of Action or Project:				
Project Location (describe, and attach a location map):				
Brief Description of Proposed Action:				
Name of Applicant or Sponsor:		Telephone:		
		E-Mail:		
Address:				
City/PO:		State:	Zip Code:	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/>	YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ acres				
b. Total acreage to be physically disturbed? _____ acres				
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres				
4. Check all land uses that occur on, are adjoining or near the proposed action:				
5. Urban Rural (non-agriculture) Industrial Commercial Residential (suburban)				
<input type="checkbox"/> Forest Agriculture Aquatic Other(Specify):				
<input type="checkbox"/> Parkland				

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest Agricultural/grasslands Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: _____ Date: _____ Signature: <u>J. Lincoln Swedrock</u> Title: _____		



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	Yes
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Green Floater, Bald Eagle
Part 1 / Question 16 [100 Year Flood Plain]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
Part 1 / Question 20 [Remediation Site]	No